

# Dennis Township

## Vision 2030

### Form-Based Code

April 8, 2010

Revised: November 2012



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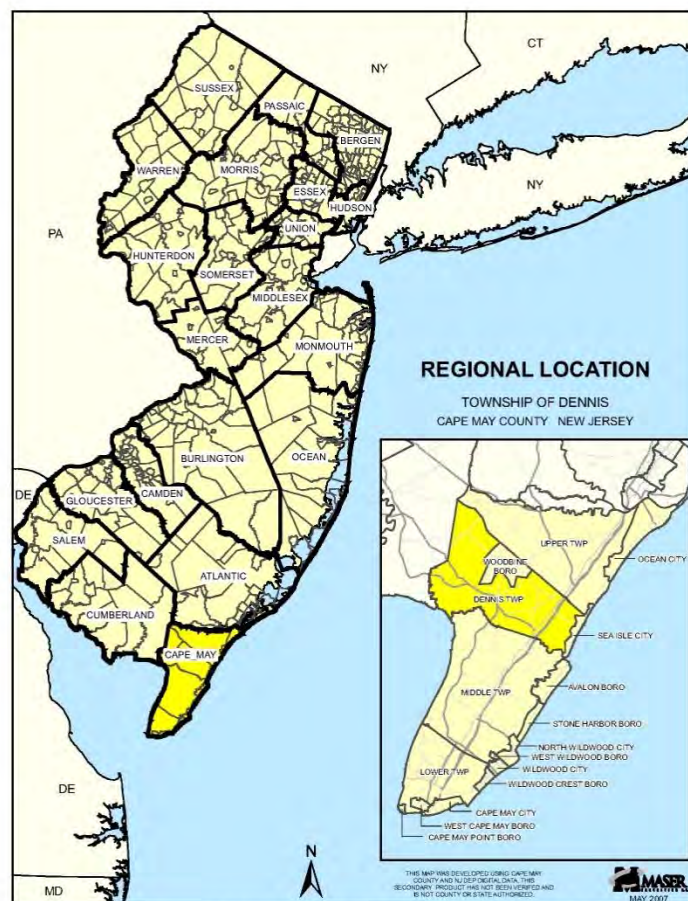
# CHAPTER 1 | INTRODUCTION

Dennis Township received a \$50,000 grant from the former New Jersey Office of Smart Growth (NJOSG) to prepare a Form-Based Code for the communities of Dennisville, South Dennis, South Seaville, Clermont and Ocean View. The Township hired Maser Consulting P.A. (Maser) to work with an Advisory Committee of Township officials to prepare the guidelines. The NJOSG grant required that the process thoroughly engage the public in a phased participation process, first assessing existing conditions, then generating design concepts through workshops, and finally preparing the Form-Based Code so that the public understands the code, its significance and basis.

Dennis Township is a rural community located in Cape May County at the southern tip of the State of New Jersey. Created from portions of Upper Township in 1826, the Township's early history was based around natural resources, such as its cedar trees and the swamp. With the construction of the Garden State Parkway, the Township's population began to rise significantly, increasing dramatically between 1970 and 1990 from 2,635 to 5,574 people. According to the 2000 U.S. Census, the Township has a total population of 6,492 people and has a total area of 64.3 miles. The Township's summer population is estimated at about six times that of its year round population.

Dennis Township is surrounded by Upper Township and Woodbine Borough to the north, Sea Isle City to the east, Middle Township to the south, the Delaware Bay to the southwest and Cumberland County to the west. Major roadways that run through Dennis Township include the Garden State Parkway (with access at Exit 17), Route 9 (SR 9), Route 47 (SR 47) and Route 83 (SR 83). Dennis Creek and Sluice Creek form large portions of the southerly boundary of the Township. Extensive tidal wetlands are located along the eastern shores of Dennis Township, including those associated with Ludlam Bay and Townsend Sound.

Dennis Township's development pattern has historically focused on preserving its natural and historic resources, with development concentrated in and adjacent to its historic villages at a density consistent with the land carrying capacity and lack of infrastructure. Most of the existing Township residential development is low-density, single-family lots. Over 5,000 acres of land are devoted to residential uses. There are also 14 active campgrounds with over 5,000 campsites, not including those in the Belleplain State Forest.

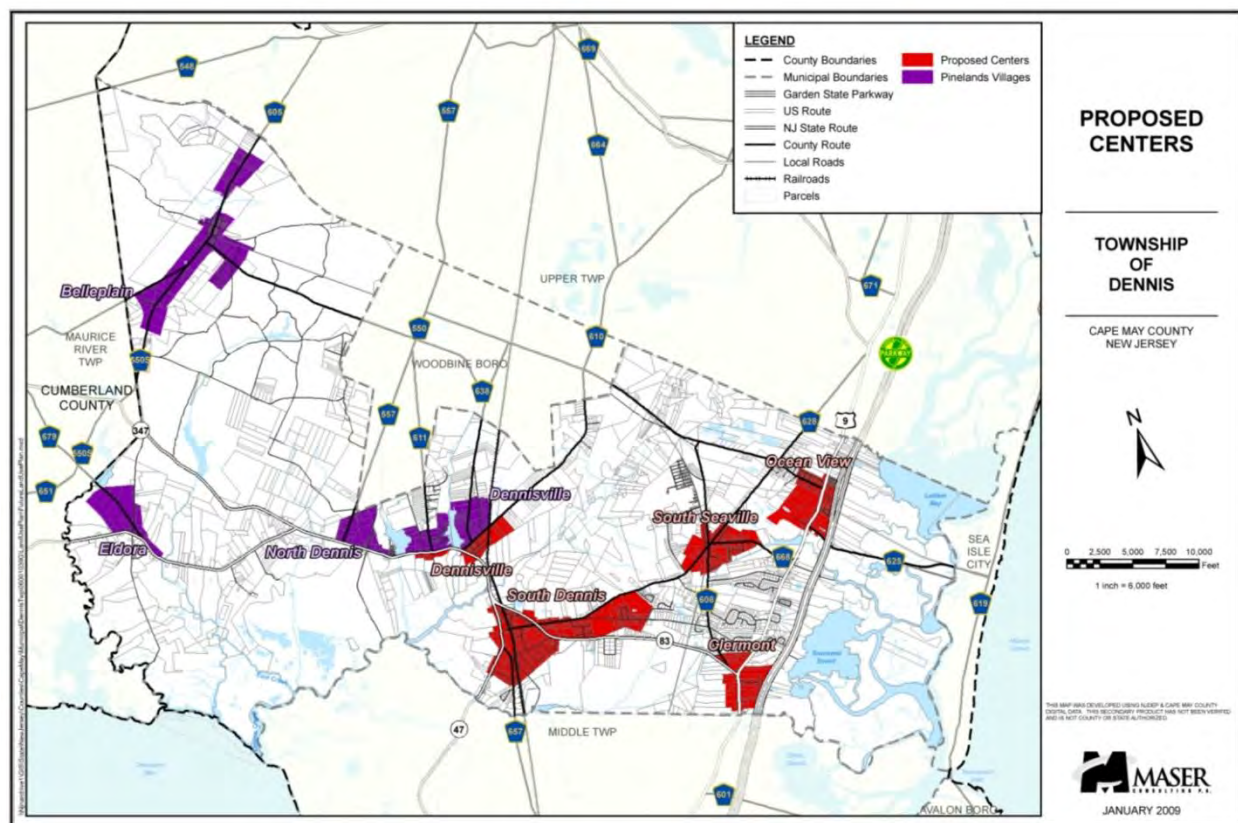




## CENTERS

The Future Land Use Plan is based on the refinement of the land use patterns of the Township to better direct growth into appropriate areas within Centers and to protect and preserve the environmentally sensitive lands outside of the Centers. Through this process, the Center boundaries were defined and refined to accommodate current development patterns and to provide opportunities **for additional growth. The boundary between more intensive “urbanized development” and the rural environment outside of the Center is defined.** The Future Land Use Plan proposes five Centers, which are located within the CAFRA area. None of the five Centers has public sewer or water currently. Private waste water treatment plants are encouraged within the five Centers.

The Town Center of Ocean View and the Village of Clermont are proposed along the SR 9 corridor, which would provide for future growth of commercial, residential and campground uses. These two Centers are proposed in areas where existing commercial development is prominent and redevelopment potential is the greatest. Together, Ocean View and Clermont contain 76 properties with over 182 acres in the commercial sector. Of all of the proposed Centers, these two areas also contain the greatest amount of vacant land (126 acres). Land use recommendations for these two Centers include permitting mixed-use buildings, providing parks and squares and discouraging auto-related uses.



The remaining three Villages of Dennisville, South Dennis and South Seaville reflect the historic development patterns in the Township. Additionally, there are four Pinelands Villages – Eldora, Belleplain, North Dennis and Dennisville. These Pinelands Villages contain low-density development, for which no changes are being proposed as a part of this process. The proposed Village Centers are generally developed, with limited redevelopment potential. These centers are primarily residential in

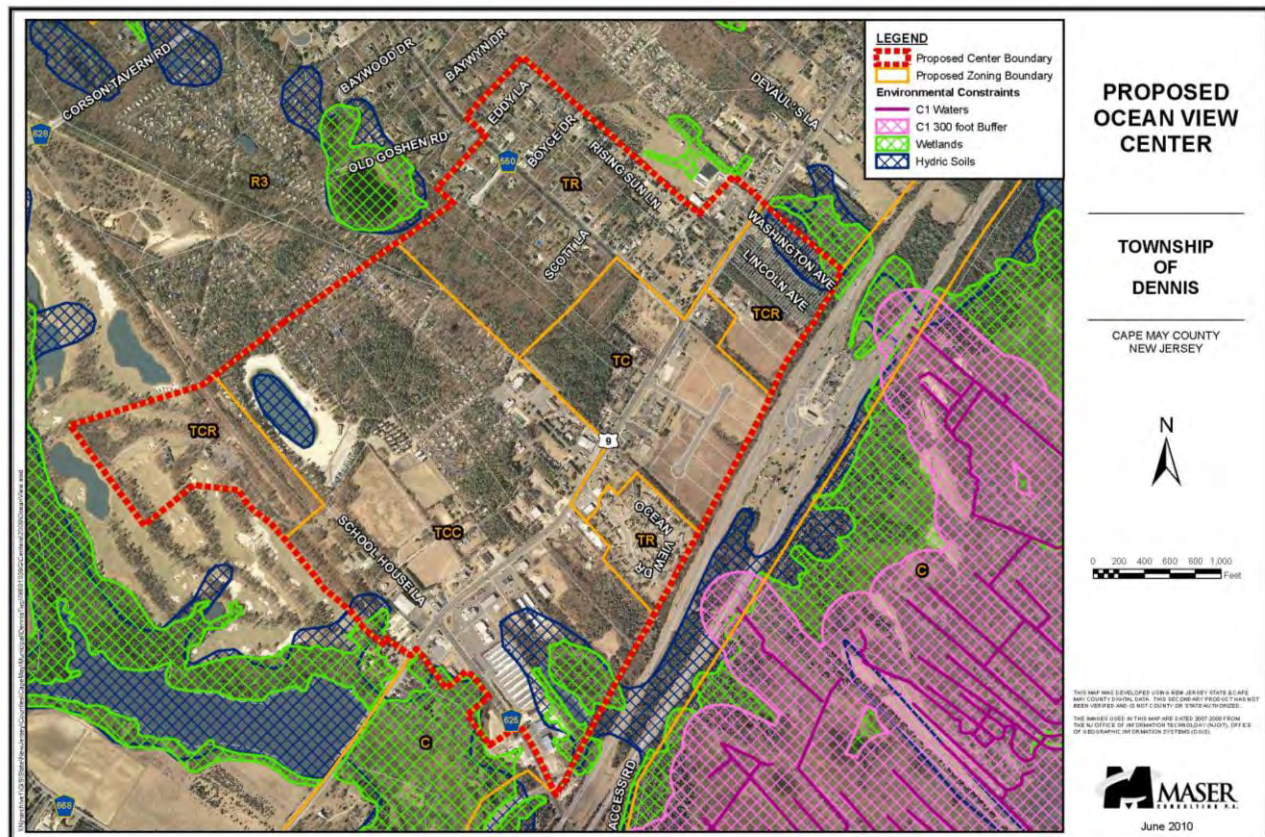
nature with small commercial districts at the core. South Dennis, the largest of all of the proposed centers (785 acres), contains only 68 acres of vacant or non-preserved agricultural lands. This is indicative of the fairly built-out nature of these areas.

Land use recommendations for the Villages include permitting small scale mixed-use development, limiting the size of individual commercial establishments and creating architectural standards compatible with the character of the Villages.

## OCEAN VIEW TOWN CENTER

The Ocean View Town Center totals 350 acres or 0.54 square miles. It is traversed north to south by SR 9. Its northern most boundary is located about 3,200 feet south of the municipal boundary between Dennis and Upper Township. The Garden State Parkway forms the eastern edge. The western boundary is located about midway between SR 9 and Corson Tavern Road. The southern boundary is located just south of Sea Isle Boulevard and School House Lane (CR-625). The Garden State Parkway provides a half interchange at Sea Isle Boulevard.

SR 9 is the major transportation route through the Center, along with CR-625, which provides access to the Garden State Parkway and Sea Isle City further east. CR-550 is a minor arterial roadway, which terminates at SR 9 and travels west through the Township to Woodbine Borough, connecting with CR-610 (Dennisville-Petersburg Road), which goes north to Petersburg in Upper Township and south to Dennisville.





Ocean View has three existing residential neighborhoods, which are almost fully developed. The Ocean View Drive neighborhood is located on the east side of SR 9 and contains single-family detached homes on lots as small as 12,500 sq. ft. The second neighborhood is at the northern end of the proposed Ocean View Center, west of SR 9 and north of CR-550 (Woodbine-Ocean View Road). This includes the Boyce Drive, Corson Lane and Rising Sun Lane neighborhood. This area also includes lots as small as 12,500 square feet. South of CR-550 is the Eddy Lane, Raymond Road and Scott Lane neighborhood. This includes lots averaging about 1 acre in size.



The Ocean View Center has a mix of existing land uses, including mostly small scale one-story commercial structures with retail sales, business services, professional offices and restaurant uses. The Ocean View Fire Company is located on the west side of SR 9 and is the only civic type within the Center. The Ocean View Resort is a major land use providing camping resort services, trailer sales and accessory uses. Additionally, the Shore Gate Golf Club is located on the west side of SR 9 with access from School House Lane.



There are a number of properties in this Center that can be considered underutilized being with older residential structures in varying conditions or vacant lands. In addition, along Mulligan Drive is a commercial zoned subdivision, with a number of vacant lots along its improved road frontage. A privately constructed and maintained water system is expected to be installed along the SR 9 corridor by New Jersey American Water Company.



## CLERMONT VILLAGE

The Clermont Village is located along the SR 9 corridor and totals 257 acres or 0.4 square miles. Its northern most boundary is south of Hagen Road and it extends about 4,700 feet south along SR 9, almost to the municipal border with Middle Township. The Garden State Parkway forms the eastern edge of this Village. The western boundary extends about 1,000 feet west of SR 9. SR 83 intersects with SR 9, forming a triangular tract at the northern third of the Village. From the SR 83 and CR-608 (King's Highway) intersection, the Village extends about 1,300 feet to the north. Radcliff Lane forms a northern boundary of the Village intersecting SR 83 and CR-608. Clermont Drive intersects with SR 9 about 600



feet south of the SR 9 and SR 83 intersection. There is no access to the Garden State Parkway adjacent to this Village. SR 83 is a major east-west arterial road connecting SR 9 west to SR 47. SR 83 links Clermont to South Dennis Village Center and then north along SR 47 to Dennisville Village Center.

Like the Ocean View Center, public water is expected to be installed along the SR 9 corridor by New Jersey American Water Company. It is expected that in the future, privately constructed and maintained community wastewater treatment facilities will be planned to serve properties in the Clermont Village Center.

There are two large campgrounds, both on the west side of SR 9: Avalon Campground, with 290 campsites, and the Driftwood Campground, with 779 campsites. The frontages of these campgrounds within Clermont are primarily campground service uses, trailer sales and recreation facilities. The campground sites are primarily located outside of the Village. There are limited residential uses currently within Clermont. Tax records identified only 29 developed residential parcels.

Active commercial uses include Teaberry Antiques, Avalon Coffee Store, an active garden center and small scale retail and business service uses. Woodlands Village and Cape May Wicker draw substantial traffic to this Village, especially during the summer season. Pedestrians crossing SR 9 midblock between these businesses is an acknowledged safety problem.

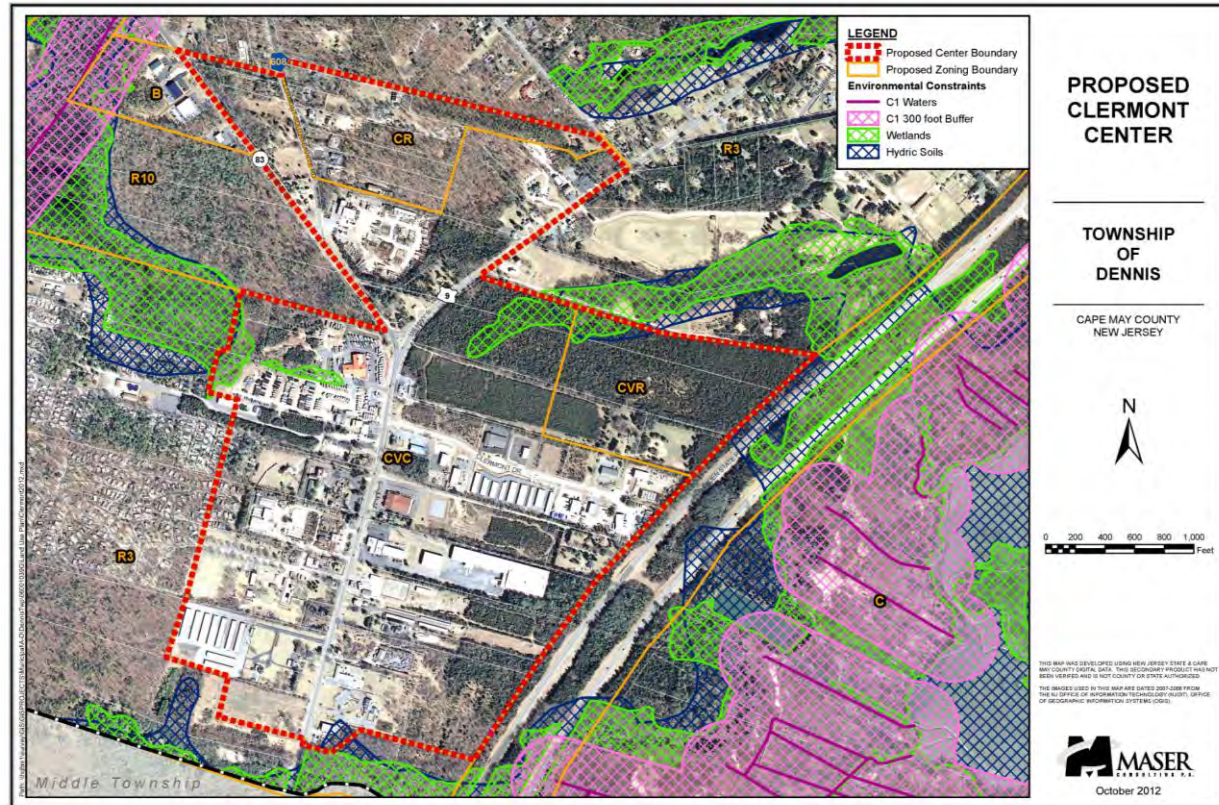
A major contracting business of over 13 acres has frontage on SR 83 and CR-608 near the apex of the SR 9/ SR 83 triangle. Along CR-608 are residential uses and a few residential business uses such as contractors. A recreational vehicle sales facility is located on the west side of SR 9 at the intersection with SR 83. Clermont Drive is a complex of business service uses, including marine oriented uses, building supplies, a carpet cleaning business, home improvement contractor, and other similar uses.

Like Ocean View, Clermont presents opportunities for development or private redevelopment. There are vacant tracts with limited wetlands that present development opportunities including, but not limited to, over 40 acres under two owners on the east side of SR 9 in the northern section of Clermont.

Also, there are a number of underutilized lands throughout the Village where future acquisition and possible merger with multiple properties provide opportunities to establish adequately-sized development parcels.







## DENNISVILLE VILLAGE

The Dennisville Village, which is within CAFRA, is part of a larger village development, including two Pinelands Villages – Dennisville and North Dennis. Dennisville Village is located along CR-610 (Dennisville-Petersburg Road) and SR 47 in the north-central section of the Township. It has two sections with a narrow width of SR 47 connecting the sections. SR 47 and CR-610 are the boundaries between the Pinelands and CAFRA jurisdictions. SR 47 is a major arterial road that links to CR-610 to Upper Township (Petersburg Village) to the north. CR-638 and CR-611 provides road connections north to Woodbine. There are two signalized intersections along SR 47, at CR-610 and CR-611.

The Dennisville Pinelands Village is located on the north side of CR-610 and North Dennis Pinelands Village is on the north side of SR 47. They are directly north of and opposite the proposed Dennisville Village Center in CAFRA.

The Dennisville Historic District received designation on both the National and State Registers of Historic Places in 1987. It includes structures from the early 1700's to the

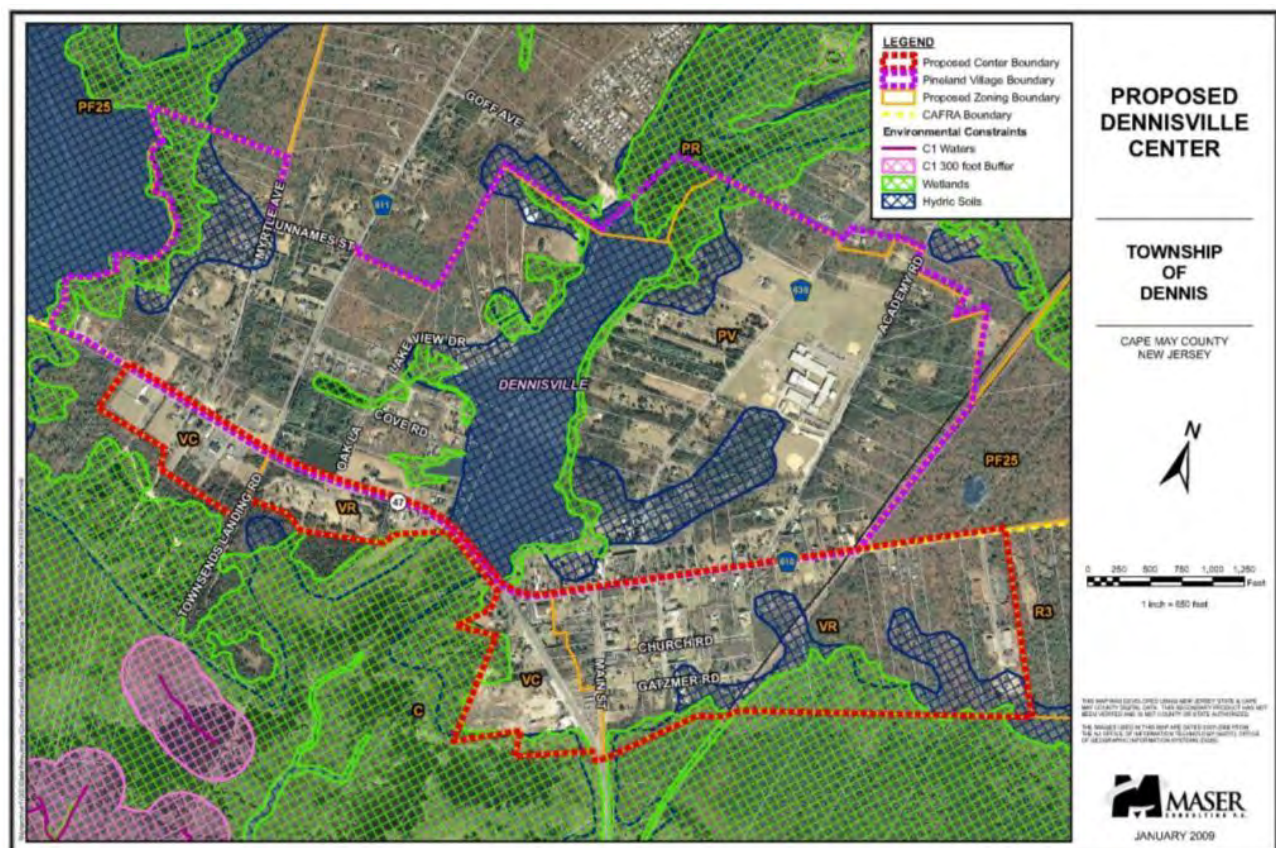




**early 1900's.** The Township has identified 55 contributing buildings to the District. Included is the Ludlam School, which is owned by the Township; it is located on SR 47 at Myrtle Avenue. The historic homes are a prime feature of the Village and are considered an important element to be preserved by the community.

The older historic village development is reflected in the street pattern, which is a grid system with Main Street linking SR 47 and CR-610, and with Church Road, Gatzmer Road and Hall Avenue being local connecting streets.

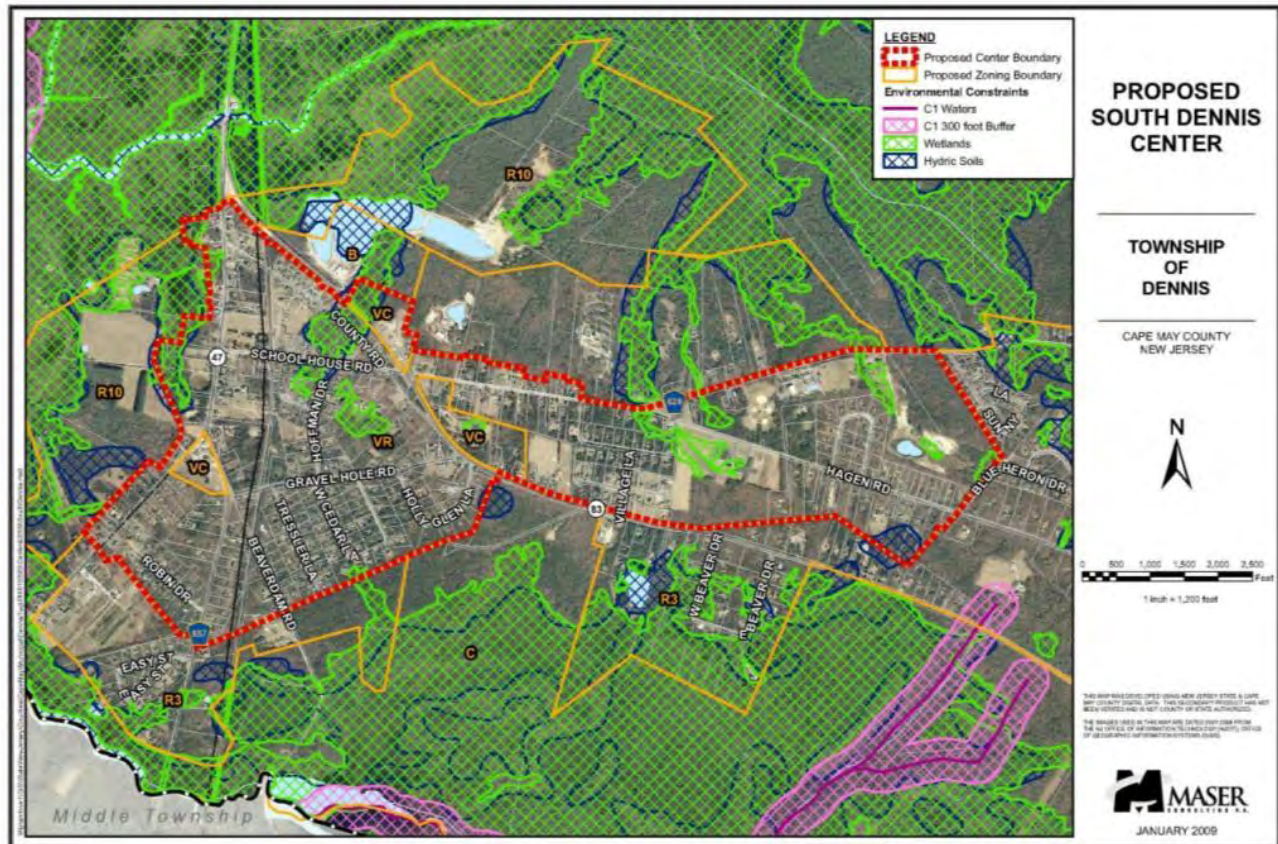
There are some sidewalks within this older historic area but many missing sidewalk links. Civic land uses within Dennisville include the municipal complex with the Town Hall and Senior Center, public works facility, the Dennisville Volunteer Fire Company, Methodist Church, Post Office and Historic Museum. The Dennisville School and its three recreation fields are located between Academy Road and CR-638 in the Pinelands.





## *SOUTH DENNIS VILLAGE*

The South Dennis Village Center is located in the eastern section of the Township to the west of the Clermont Town Center. SR 47 is proximate to the western edge of South Dennis Village. SR 83 transverses the eastern section of the Center. Both SR 47 and SR 83 intersect at the uppermost limit of the South Dennis Village. CR-628 (Corson Tavern Road) forms the northern most edge of the Center linking South Dennis to South Seaville and then northeast to Upper Township. SR 47 links South Dennis to Dennisville Village.



The South Dennis Village Center encompasses 860 acres or 1.3 square miles. It measures about 5,600 feet along SR 47 running north to south. The Dennis Township School is located on Hagen Road and the Dennis Township Recreation Park is located between Hagan Road and CR-628 (Dennisville Road), at the extreme eastern end of the Village. South Dennis Village is the largest of the proposed CAFRA villages. Its size and length are due to the existing pattern of development of this Village.

There are a number of other local roads within the Center, including Gravel Hole Road, which is a connector road between SR 83 and SR 47. CR-657 (Court House-South Dennis Road) connects to SR 47 and is linked south



through Middle Township to Cape May Court House. A number of local roads terminate at the Southern Railroad Company of New Jersey Cape May Branch right-of-way (which is currently not in operation). These roads include County Road and School House Road. To travel directly by vehicle across the Village is limited to using Gravel Hole Road from SR 83; otherwise a more convoluted trip is in order. South Dennis Village is located completely within the CAFRA Coastal Zone.

The South Dennisville Historic District located on SR 47 in the northern most section of the South Dennis Village Center was issued an opinion of eligibility on July 13, 2001. According to the *Dennis Township Natural Resources Inventory* (page 80), this area includes 21 properties from the period of 1720 to the 1880s. There are a number of older homes and structures that appear well preserved and are an important element of South Dennis character.

### *SOUTH SEAVILLE VILLAGE*

The South Seaville Village Center is located in the eastern section of the Township and is to the southwest of the Ocean View Town Center. It is the intersection of three county roads: CR-668 (Main Street), CR-608 (Kings Highway) and CR-628 (Corson Tavern Road). All three roads intersect in the center of South Seaville in its business area. The South Seaville Center encompasses 320 acres or 0.5 square miles. There are a number of other local roads within the Center as well, including Woodbine Boulevard, Old Goshen Road, Pine Street, Maple Street, Furlong Drive and others.

South Seaville is located completely within the CAFRA zone. Currently there are about 193 residential lots within the boundaries of the Center. The Center has an identified Historic District with 17 properties from the period of 1793 to 1890, according to the *Dennis Township Natural Resources Inventory* (page 80). However, it is not designated as a Historic District by the NJ State Historic Preservation Office. There are a number of older historic homes, which appear well-preserved and are an important element of South Seaville's character.

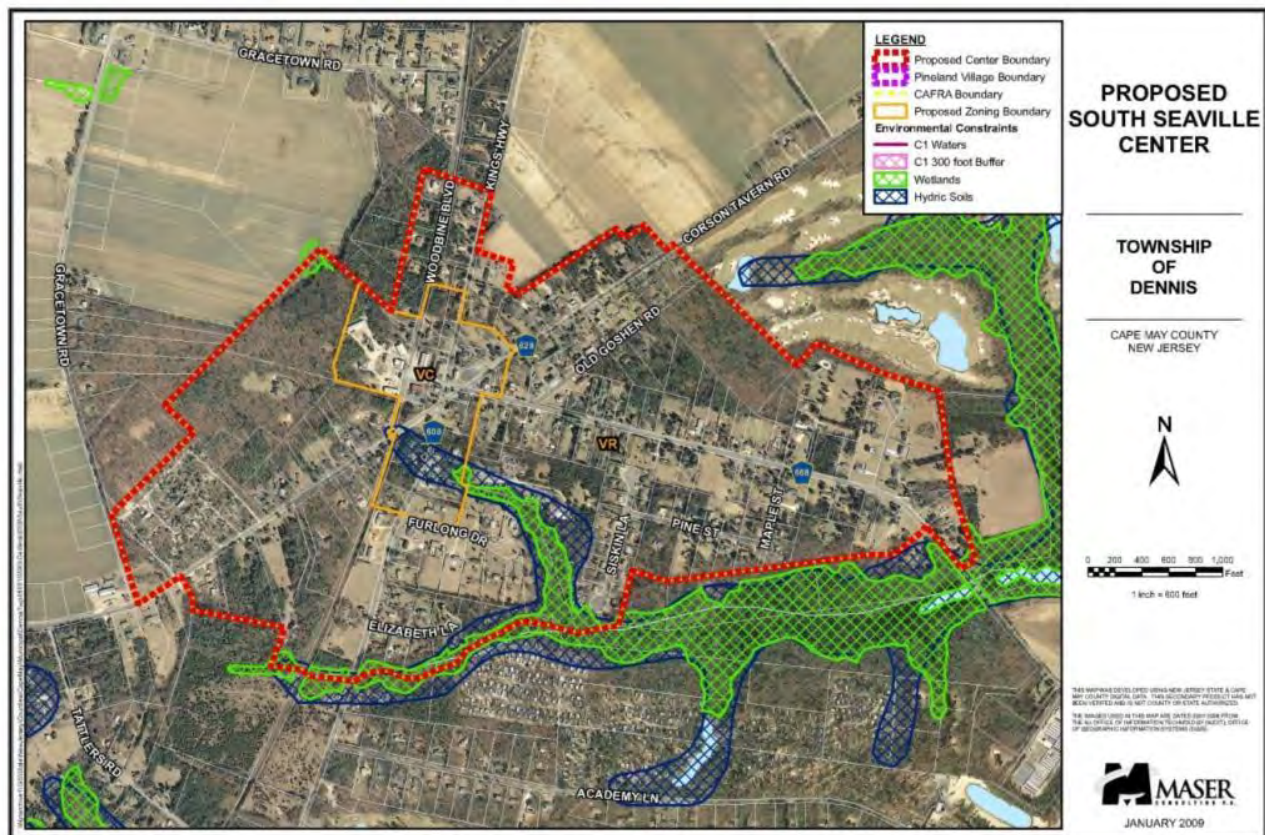
Within the multi-legged intersection of CR-668, CR-608 and CR-628 is the business area of the Village. Civic uses include the South Seaville United Methodist Church, Volunteer Fire Company, the Post Office and Grange Hall.





Other uses include a small market and business services. Most of the commercial properties are smaller lots a number of which are less than 1 acre in area. The older buildings within the Center are close to the road and reflect the historic character and ambience of the Center.

The South Seaville Camp Meeting property is located at the northeast corner of CR-628 and Gracetown Road. This is a historic property, which was founded in 1863-64 as a Methodist camping retreat. There are a number of original homes and structures; it is still in use today. Residential uses predominate in the Village. There are about 193 residential properties. Most are single family detached structures; older residential development includes lots as small as 0.25 acres. More recent development has been platted on larger lots.



## CHAPTER 2 | SUMMARY OF THE PROCESS

The work program developed by Maser for Dennis Township included five components to achieve the goals of the smart growth grant and to provide the Township with the design and zoning regulations needed to achieve their vision for their Centers. These components are as follows:

1. Background Analysis and Preparation
2. First Workshops: Villages and Town Center
3. Analysis of Workshops and Preparation of Draft Guidelines
4. Open House: Villages and Town Center
5. Public Presentation

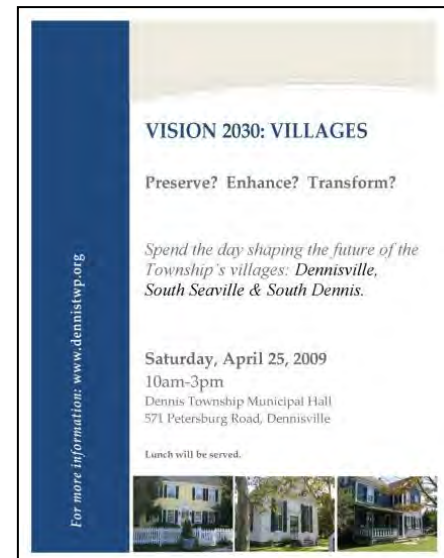
A brief outline of the work components, the tasks completed for each and the public responses and survey results are described below.

### BACKGROUND ANALYSIS & PREPARATION

A thorough background analysis was completed, which included photographing existing buildings, streets, sidewalks, amenities, etc. in all five Centers. In addition, base maps were created using Geographic Information System (GIS) software to map the location of existing environmental constraints. Additionally, data was gathered on existing land uses and demographic conditions that were presented in a **"Community Profile"** (included in the Appendix), which summarized the existing conditions of the Town Center and Villages.

The photographs from the Town Center and Villages were used in conjunction with photos from other areas to create a Community Vision (CV) Survey – a tool that utilizes pictures to gain a sense of what participants feel is appropriate for the future of their municipality. The photos were divided into categories - streets, pedestrian realms, building types, signage, parking, open space – and evaluated on a scale of -5 to + 5. The higher the positive number, the more appropriate participants feel the picture is for the municipality's **future**. The lower the negative number, the less appropriate participants feel the picture is for the municipality's **future**. The responses of the survey are tabulated to determine the average and the **standard deviation, which is the range of participants' scores**. The highest rated images then represent the visual and spatial characteristics that participants' desire for the municipality and guide the consultants, who can then translate the photos into the Form-Based Code.

Next, a questionnaire was prepared, which would gather more **information on participants' ideas for the Town Center and Villages**. General questions on open space, housing, transportation, quality of life, visual amenities and types of

A community questionnaire form. The title is "DENNIS TOWNSHIP VISION 2030: TOWN CENTERS COMMUNITY QUESTIONNAIRE". The form is divided into several sections. The first section asks for demographic information: "1. What is your gender?" (Female, Male), "2. How old are you?" (17 or younger, 18-24, 25-34, 35-44, 45 or older), and "3. What is your primary affiliation with Dennis Township?" (Elected Official, Business/Owner, Resident, Other). The second section asks for housing information: "4. If a resident of Dennis, where do you live?" (Urban View, Cottage, Dennisville, South Dennis, South Seaville, Other), "5. If a resident of Dennis, how many years have you lived in the Township?" (Less than 1 year, 1-4 years, 5-10 years, 11-15 years, More than 15 years), "6. How many people, including yourself, live in your household?" (1, 2, 3, 4, 5 or more), "7. What is your current living arrangement?" (Condo, Apartment, Townhouse, Single-family attached house, Single-family detached house), and "8. Do you rent or own your living unit?" (Own your home, Rent your home). The form also includes a section for "In two words, describe (Dennis) Township:" and "In two words, describe the characteristics of a community you would like to live in:". There are lines for writing answers and checkboxes for multiple choice questions.



development were included in the questionnaire. Finally, three mapping exercises were prepared, which used the base maps that were created, to allow participants to interact and provide valuable information regarding areas for future redevelopment, density, streets and open space.

## FIRST WORKSHOPS: TOWN CENTER & VILLAGES

Individual workshops were held for the Villages and the Town Center. First, the Villages workshop (for Dennisville, South Dennis and South Seaville) was held on April 25, 2009. The following Saturday, May 2, the Town Center workshop was held.<sup>1</sup> Both workshops were held at the Dennis Township Senior Center located in Dennisville from 10am to 3pm.

Each workshop attracted 30 to 40 participants and followed the same format. The workshops began with a brief introduction by Mr. Dennis Crippen, Deputy Mayor (in 2009). Maser then presented an introduction to the project, information on the Villages/Town Center as well as photographs detailing the individual Villages/Town Center and explained what a Form-Based Code is to the audience. Next, Maser conducted the CV Survey, which included 80 images, classified into seven categories – streets, building typologies, pedestrian realm, signage, parking, open space and amenities.

After the participants finished the CV, they were divided into groups to complete the mapping exercises – at least one group for each Village/Town Center. This exercise **asked participants to evaluate the study areas' "susceptibility to change"**. Three colors were given to each group representing varying levels of potential for change:

- Red = Preservation, do not change
- Blue = Minor Changes, building improvements
- Green = Transformation, development/redevelopment

Once the first mapping exercise was completed, the questionnaires were handed out and lunch was served.

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<sup>1</sup> It should be noted that from project commencement through and including the workshop process in 2009 Clermont was actually delineated as a Town Center. Clermont was changed from a Town Center to a Village Center due to further discussion with the NJ Office of Planning Advocacy (NJOPA) in 2012.



Questionnaires were also available on the Township's website for those who could not make it to the workshops.

After lunch, the groups reconvened to begin the next exercise. The second mapping exercise focused on mobility and new thoroughfare connections. Participants were asked to create new street connections using the color green and delineated existing roads in need of repair with the color purple. Additionally, each group was provided a set of pictures of streets from around the United States. Each group was then asked to attach a picture from the example sheets to illustrate what they would like each major road to look like in the future. Green dots were also provided to indicate where participants would like to see crosswalks installed. It was quickly apparent that traffic is an issue, especially during the summer months for the Villages/Centers, as many travelers pass through them to get to the shore. Bike lanes and sidewalks were discussed in many of the groups, as were traffic calming measures and safety issues.

The third and final mapping exercise supplied the groups with a new set of picture sheets, this time with various types of buildings in each picture. The groups were asked to paste pictures that represented the type of development they would like to see occur in each Village/Center.



## ANALYSIS OF WORKSHOPS & PREPARATION OF DRAFT GUIDELINES

Following the public workshops, the Township calculated the results of the CV and questionnaires and then Maser summarized the results. Some interesting findings from the **Village** questionnaire included:

- 68% of participants were between 35 and 52 years older
- 84% of participants had lived within in the Township for more than 15 years
- 58% of participants go into or stop within the Villages on a daily basis
- 37% of participants rated the aesthetic quality of the **Township's parks as excellent**
- 53% of participants said they feel new development in the Villages would be beneficial to the economic development of the Township
- 26% of participants rated the aesthetic quality of Dennisville as excellent
- 16% of participants rated the aesthetic quality of South Dennis as excellent
- 10% of participants rated the aesthetic quality of South Seaville as excellent

Some interesting findings from the **Town Center** questionnaire included:

- 93% of participants were 35 years or older
- 69% of participants had lived within in the Township for more than 15 years

- 38% of participants go into or stop within the Town Center on a daily basis
- **25% of participants rated the aesthetic quality of the Township's parks** as excellent
- 38% of participants said they feel new development in the Town Center would be beneficial to the economic development of the Township
- 0% of participants rated the aesthetic quality of Clermont as excellent
- 6% of participants rated the aesthetic quality of Ocean View as excellent
- 70% of participants said mixed-use development was appropriate for Clermont
- 50% of participants said mixed-use development was appropriate for Ocean View

Maser then analyzed the mapping exercises. This data informed the consultants of what participants felt was appropriate and inappropriate for the future of each Village/Center. The data provided information on density, height, building size, type of parking, pedestrian connections and design guidelines. This information allowed the consultants to draft the Street Regulating Plan and street sections and open space and park standards.

**On August 12, 2009, the workshops' results and draft Street Regulating Plan, street sections and open space and park standards** were presented to the Advisory Committee.

Following this meeting, the draft code was then composed, based on the data provided by the participants. A draft FBC was presented to the Advisory Committee on October 15, 2009. During this time, meetings were held with the Cape May County Engineer and NJDOT to review the draft Street Regulating Plan. To prepare for the Open House, the consultants prepared summary maps of the mapping exercises completed during the Workshop, as well as a PowerPoint illustrating the results of the CV and questionnaire. The draft code, as well as graphics and maps were created for presentation.

## REFINEMENT OF CODE

Between 2009 and 2010, the Planning Board held public discussions on the Draft Master Plan Land Use Plan and the recommended zoning changes. Changes were then made to the Clermont Center in response to public comment. Further action on the Land Use Plan and the Form Based Code was then put on hold by the Township.

Beginning in 2011, the Township was reengaged in further discussion of the Draft Land Use Plan. Cape May County, working with the Township, was engaged in preparing the Wastewater Management Plan (WMP) as required by the New Jersey Department of Environmental Protection (NJDEP). The Township decided to now complete their Plan Endorsement Petition process with New Jersey Office of Planning Advocacy ("NJOPA"), **which was previously known as NJOSG** to gain designation of their proposed Centers. This process would then permit the installation of public or community wastewater treatment facilities or allowing for water treatment permits in their proposed Centers. Work on the Draft Land Use Plan and the Form Based Code was then resumed.

Between 2010 and 2012, the Township was also engaged in a transportation study of the SR 9 corridor focused on the Ocean View and Clermont Centers. The purpose of the study was to evaluate **future traffic conditions by assessing the road network's capacity to handle future growth. The results** of this study indicated that future development within the Centers will need to be scaled back to meet road capacity constraints. Also it was determined that SR 9 within the two Centers would require two

traffic lanes in each direction with intersection and other road improvements. This resulted in the need to modify the original Form Based Code SR 9 street cross-section to accommodate future traffic conditions. It also resulted in a reduction in the residential density, building and impervious coverage in the SR 9 Centers to better accommodate future traffic growth.

A presentation of the Draft Form Based Code was scheduled for December 2012, to be concurrent with the Planning Board Public Hearing on the Draft Land Use Plan. The Form Based Code provides the details of the design standards for the planned Centers. Once the Land Use Plan is adopted by the Planning Board, the next step is to incorporate in ordinance code format the Form Based Code for the Centers with the other zoning recommendations in the Land Use Plan.

## CHAPTER 3 | VISION STATEMENT

The result of the two public workshops and Advisory Committee meetings was the creation of a vision statement to guide future development and redevelopment of the Villages and Town Center. This statement was the direct result of the input from community residents, business owners and public officials.

*In the year 2030, Dennis Township will be a safe, friendly community that has maintained its rural character by focusing development within its designated Centers to protect the surrounding environs that contain unique environmental resources from the impacts of sprawl development.*

*The Township's Town Center, Ocean View, and the Clermont Village will be transformed into desirable places to both live and work. The Centers will contain a variety of housing types and include a mixture of retail and office establishments that will provide quality job opportunities for residents.*

*The existing character of the Villages of Dennisville, South Dennis and South Seaville will be maintained and enhanced. Infill development will be encouraged that is consistent with the scale and style of the Villages.*

*The entire Township's quality of life will be enhanced with street improvements, which include an interconnected sidewalk network and a Township-wide bike system. Finally, an assortment of parks, plazas and squares will be spread throughout the Town Center and Villages offering recreational opportunities.*

## CHAPTER 4 | FORM-BASED CODE

This chapter establishes the basis for the Form-Based Code, which has its roots in the 2009 Draft Master Plan. **Each zone's purpose is outlined, followed by the standards for all future development** and redevelopment in the Villages and Town Center. A Regulating or Zoning Plan is included for the five Centers, which shows the recommended zoning within each Center.

There are four zones within the Ocean View Town Center, three zones within the Clermont Village and two zones within the remaining Villages. Each of the new zones includes a brief description with sketches illustrating what the zone could look like when built out. Next, the comprehensive bulk and use standards are outlined for each district, which specify the building placement, building form, parking location, encroachments, frontage types and permitted uses. These standards were derived from the information gathered from the public workshops, Community Vision Survey, community-wide questionnaire and workshop mapping exercises.

### ZONE PURPOSES

#### *TOWN CENTER & TOWN CENTER CORE*

The purpose of the "TCC" Town Center Core and "TC" Town Center districts is to promote a desirable mix of commercial, office, civic and residential land uses within a vibrant, pedestrian-friendly, Town Center environment with an emphasis on uses that serve community needs. The districts should work to encourage pedestrian flow throughout the area by generally permitting stores, services, including personal service establishments and offices on the ground floor of buildings and the upper floors for service and residential dwelling units. Additionally, both zones permit stand-alone residential buildings as a conditional use. The districts are intended to promote a more dense development through the use of privately constructed and maintained wastewater treatment facilities. The main difference between the TCC and TC districts is the permitted residential density.

#### *TOWN CENTER RESIDENTIAL & TOWN RESIDENTIAL*

The purpose of the "TCR" Town Center Residential district is to promote new, medium density residential development within Ocean View. This district will promote a variety of housing typologies and expand housing options within Dennis Township.

The purpose of the "TR" Town Residential district is to recognize existing residential development patterns within Ocean View where on-site sewage disposal systems are currently provided. The TR Zone will work to retain the current character of these residential neighborhoods and promote infill development that is appropriate with the scale and context of the existing homes. Existing residential lots, which are undersized, shall be grandfathered.

#### *CLERMONT VILLAGE COMMERCIAL*

The purpose of the "CVC" Clermont Village Commercial district is to promote a mixture of commercial, office and residential land uses within a compact, pedestrian-friendly Village. This



zone requires active ground floor uses, such as shops and personal service establishments on the first floor. Meanwhile, residential dwelling units are permitted on upper floors. This district is intended to promote compact development through the use of community wastewater treatment facilities.

### *CLERMONT VILLAGE RESIDENTIAL & CLERMONT RESIDENTIAL*

The purpose of the “CVR” Clermont Village Residential district is to promote new, medium density residential development within Clermont. This district will permit a variety of housing typologies and expand housing options within Dennis Township. **The purpose of the “CR”** Clermont Residential district is to recognize existing residential development patterns within Clermont. The CR Zone will work to retain the character of these residential areas and promote infill development that is appropriate with the scale and context of the existing homes.

### *VILLAGE COMMERCIAL*

The “VC” Village Commercial district is intended to promote a desirable mix of commercial, office, civic and residential land uses within a vibrant, pedestrian-friendly village environment with an emphasis on uses that serve local and community needs. The VC district objectives and uses would **be generally consistent with current “HC” Historic Commercial Zone; however, the VC district** encourages mixed-use buildings with upper floor apartments. Much of the VC Zone reflects existing commercial and residential uses in these older Village Centers

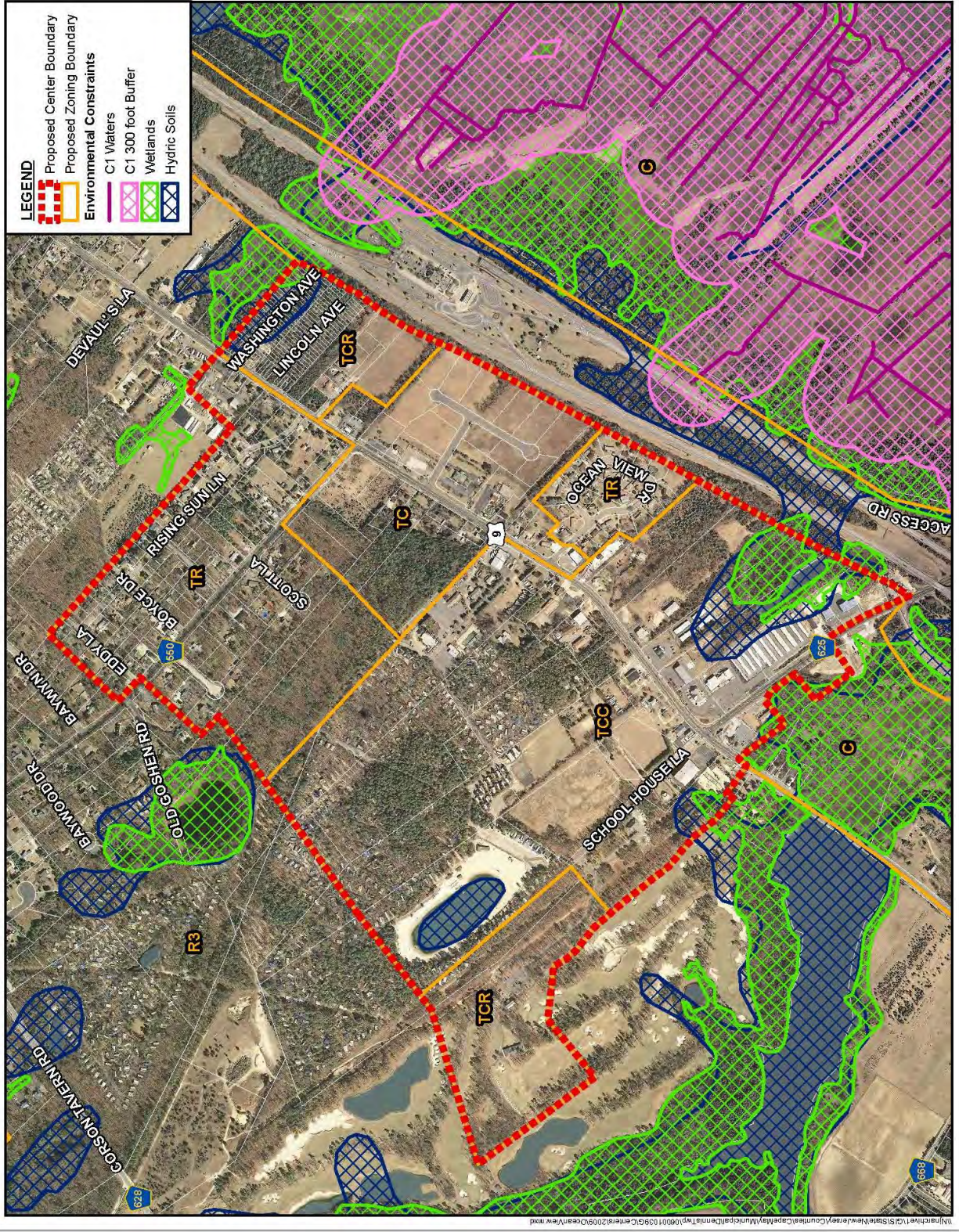
### *VILLAGE RESIDENTIAL*

The “VR” Village Residential District encompasses residential areas within the Dennisville, South Seaville, and South Dennis Village Centers. These areas are predominately developed and new development would be primarily infill development consistent with character of surrounding residential uses. The intent is that residential development will be consistent with the character and scale of development within these historic centers.

## REGULATING (ZONING) PLAN MAPS

The following pages contain the Regulating (Zoning) Plan maps for the Town Center and each of the Villages. **These Regulating (Zoning) Plan Maps are consistent with the Township’s Land Use Plan.**





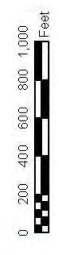
**LEGEND**

- Proposed Center Boundary
- Proposed Zoning Boundary
- Environmental Constraints
- C1 Waters
- C1 300 foot Buffer
- Wetlands
- Hydric Soils

# PROPOSED OCEAN VIEW CENTER

TOWNSHIP  
OF  
DENNIS

CAPE MAY COUNTY  
NEW JERSEY



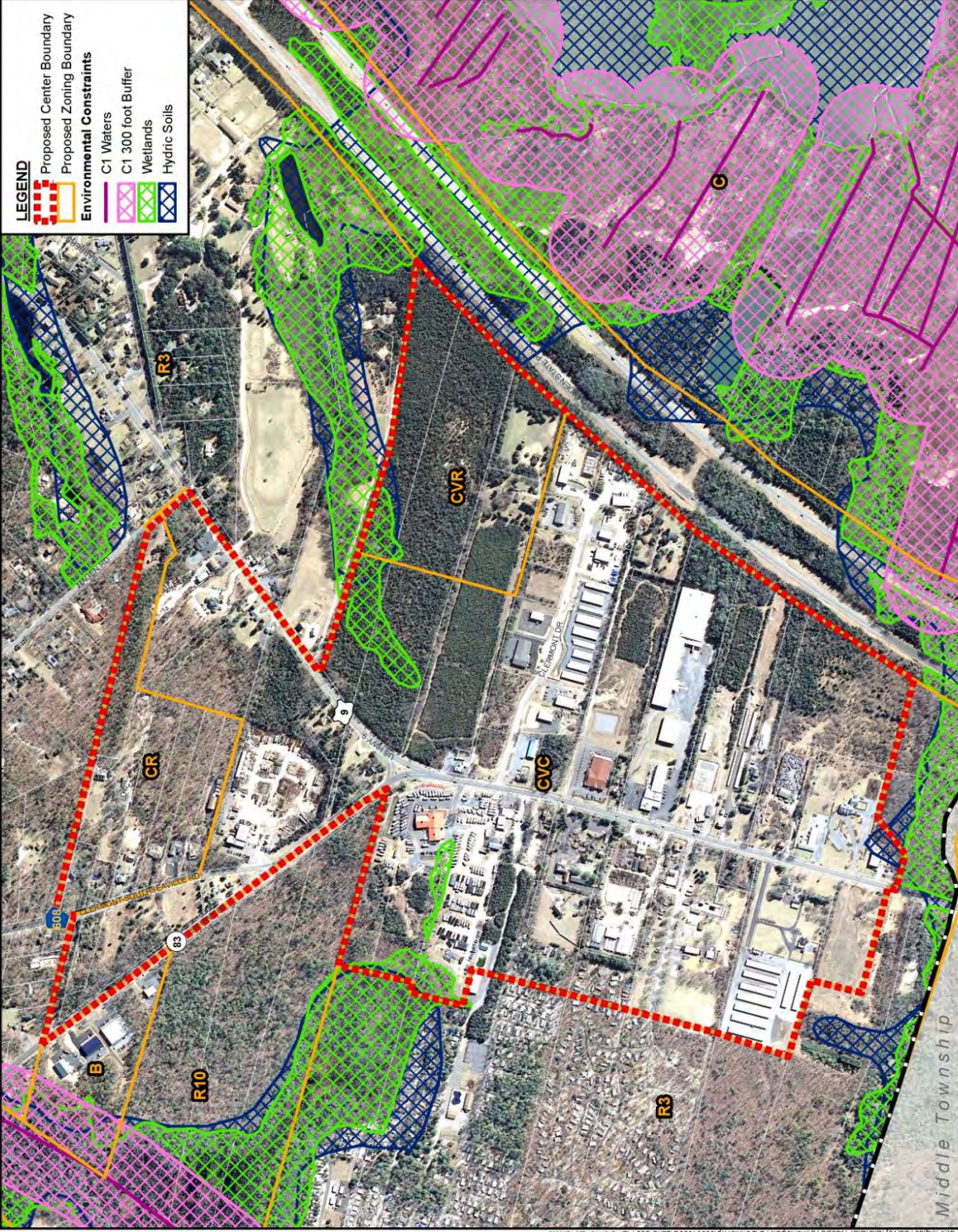
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June 2010

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# LEGEND

- Proposed Center Boundary
- Proposed Zoning Boundary
- Environmental Constraints
- C1 Waters
- C1 300 foot Buffer
- Wetlands
- Hydric Soils

## PROPOSED CLERMONT CENTER

TOWNSHIP  
OF  
DENNIS

CAPE MAY COUNTY  
NEW JERSEY



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October 2012







# PROPOSED SOUTH DENNIS CENTER

TOWNSHIP  
OF  
DENNIS

CAPE MAY COUNTY  
NEW JERSEY

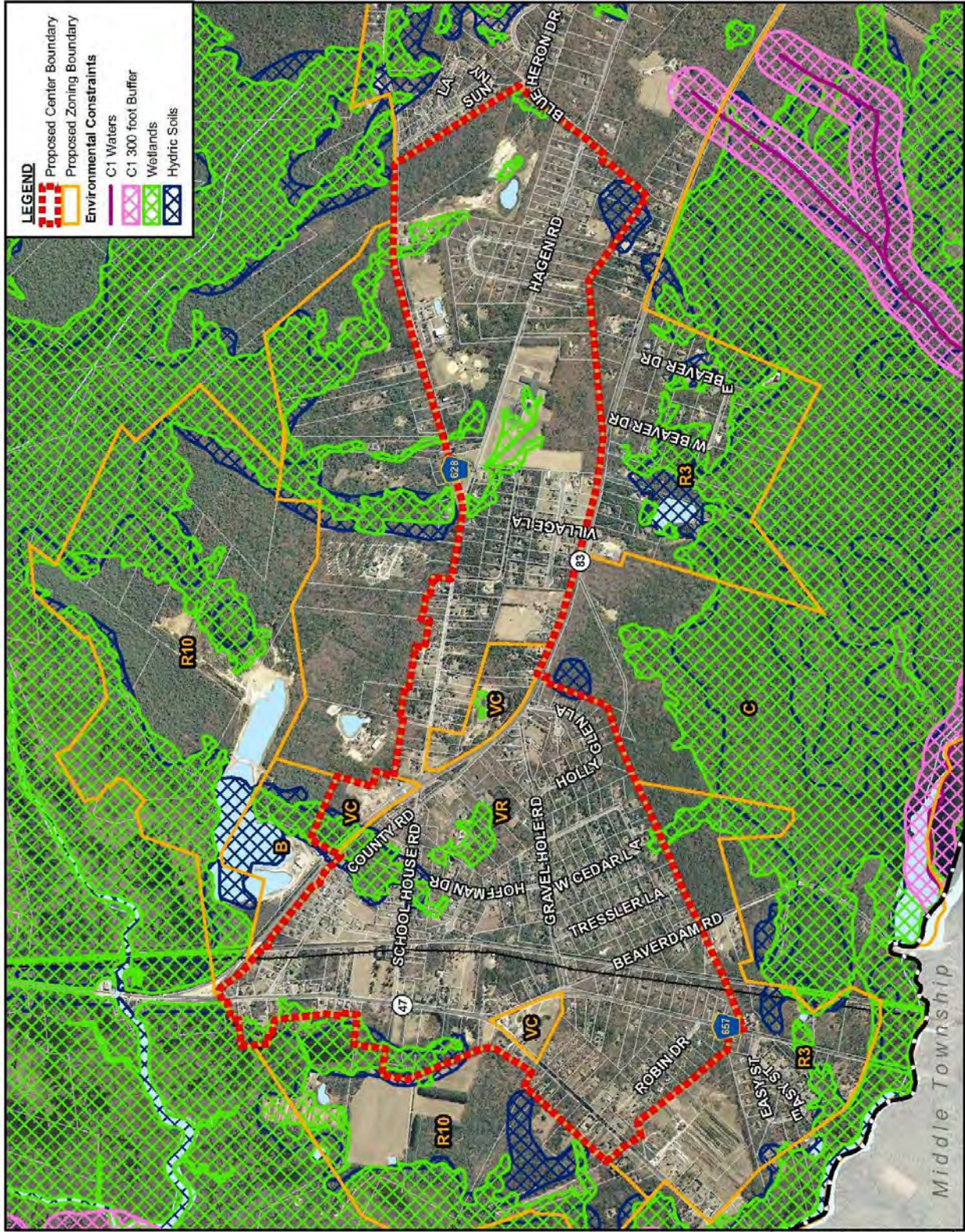


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MAY 2009

- LEGEND**
- Proposed Center Boundary
  - Proposed Zoning Boundary
  - Environmental Constraints
  - C1 Waters
  - C1 300 foot Buffer
  - Wetlands
  - Hydric Soils





**PROPOSED  
SOUTH SEAVILLE  
CENTER**

**TOWNSHIP  
OF  
DENNIS**

CAPE MAY COUNTY  
NEW JERSEY

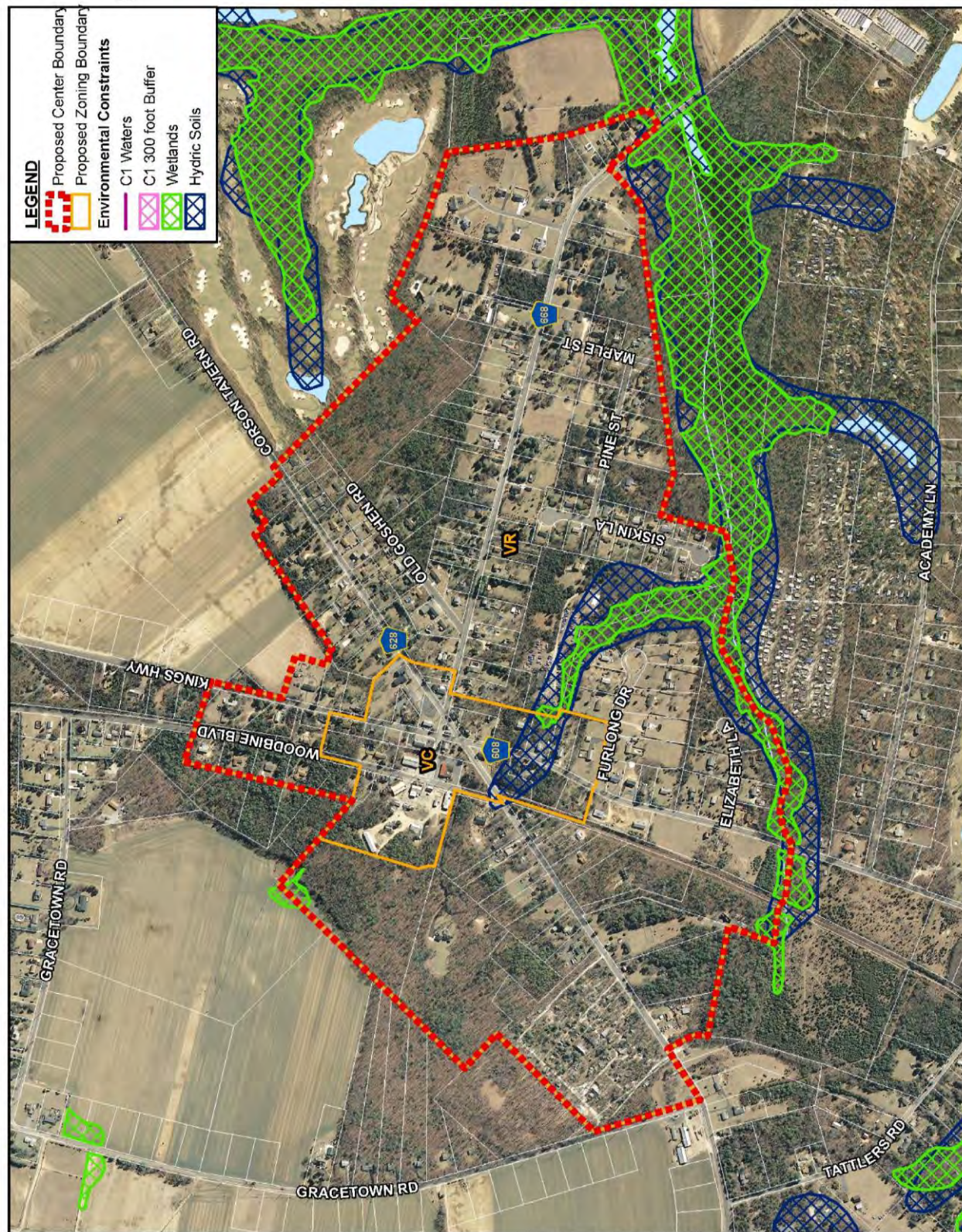


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MAY 2009





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## ZONE STANDARDS

This section of the report establishes the standards for all future development within the TCC, TC, TCR, TR, CVC, CVR, CR, VC and VR Zone districts.

### *TOWN CENTER CORE (TCC) ZONE STANDARDS*

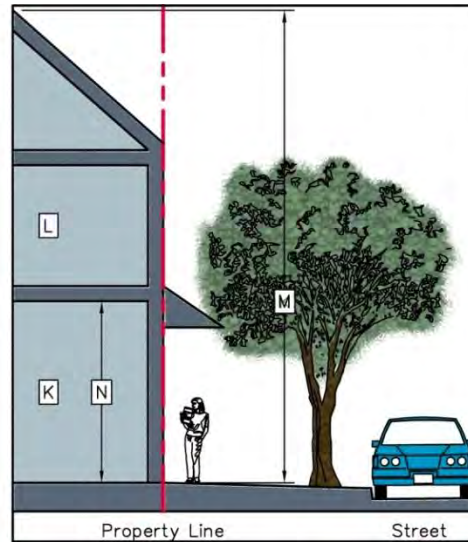
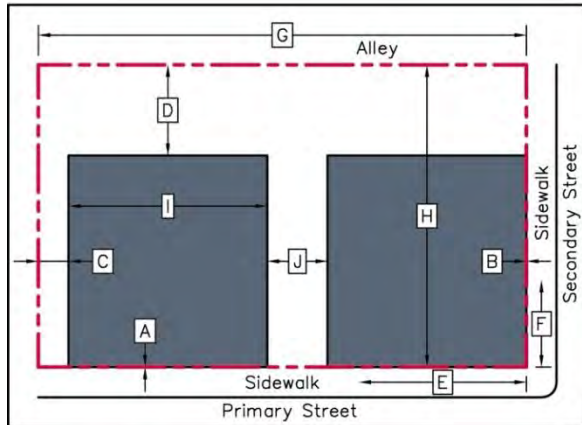


Conceptual street view of TCC Zone.



Conceptual detail view of TCC Zone.

## TOWN CENTER CORE (TCC) ZONE STANDARDS



### Building Placement

#### Build-to-Line (Distance from Lot Line)

Front - Primary Street	0' min. - 8' max.	<b>A</b>
Front - Secondary Street	0' min. - 4' max.	<b>B</b>
Side	30' min.	<b>C</b>
Rear	55' min.	<b>D</b>

#### Building Form

Primary Street Façade built to BTL*	50% at 0'	<b>E</b>
Secondary Street Façade built to BLT*	30% at 0'	<b>F</b>
Lot Width	150' min.	<b>G</b>
Lot Depth	200' min.	<b>H</b>
Lot Size	1 acre min.	
Building Length	100' max.	<b>I</b>
Distance between Buildings**	20' max.	<b>J</b>

#### Notes

\*While buildings are required to abut the BTL, they are not permitted to obstruct sight triangles.

\*\* Along primary street frontage, where multiple buildings are proposed on one lot.

Any building over 30' wide must be broken down to read as a series of buildings no wider than 30' each.

All buildings must have a primary ground floor entrance that faces the primary street; all doors shall be set back a minimum of 4' from the build-to-line.

### Use

Ground Floor	Retail, Services, Recreation, Education & Public Assembly	<b>K</b>
Upper Floor(s)	Residential, Retail, Services, Recreation, Education & Public Assembly	<b>L</b>

### Height

Building Maximum	2.5 stories / 30'	<b>M</b>
First Floor Ceiling Height	10' min. clear	<b>N</b>

### Coverage

Building	35% max.
Impervious	70% max.

### Dwelling Unit Density Per Acre

As-of-Right	5 max.
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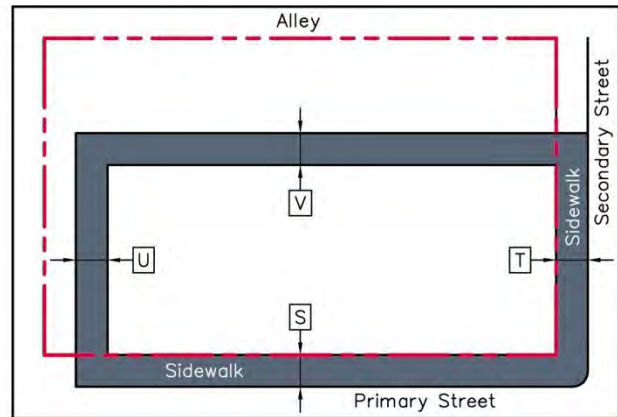
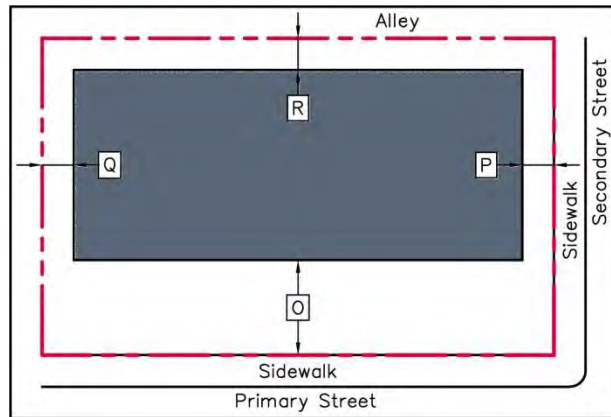
### Notes

All residential development shall comply with the Township's affordable housing requirements at the time of application submission.

Loading docks and service entries are prohibited on facades that face a primary or secondary street.



## TOWN CENTER CORE (TCC) ZONE STANDARDS



Red line = property line

### Parking

#### Location (Distance from Lot Line)

Front - Primary Street Setback	30' min.	<b>O</b>
Front - Secondary Street Setback	10' min.	<b>P</b>
Side Setback	10' min.	<b>Q</b>
Rear Setback	10' min.	<b>R</b>

#### Required Spaces

Automobile

See Chapter 185.33 of the Zoning Ordinance

Bicycle

1 space per 20 automobile spaces

#### Notes

Shared parking is permitted for mixed-use developments when pedestrian access is provided from the street to the rear parking area. Up to a maximum of 20% of the required spaces may be shared.

Driveways are discouraged along State and County Roads and are only permitted if there is no other option for access to parking areas.

### Encroachments

#### Location

Front - Primary Street*	6' max.	<b>S</b>
Front - Secondary Street*	6' max.	<b>T</b>
Side**	6' max.	<b>U</b>
Rear***	6' max.	<b>V</b>

#### Permitted Frontage Types\*\*\*\*

Shopfront

Forecourt

8' min. clearance

#### Notes

\*No encroachments are permitted along a County Road and only awning, canopy and sign encroachments are permitted along a State or local road, which must receive an air rights easement. This includes doors that would swing out into the right-of-way; doors located along a County or local right-of-way must be set back a minimum of 4' from the right-of-way.

\*\*Awnings, canopies and balconies may encroach the side setback, as shown in the shaded area. However, a 10' clearance must be maintained between any encroachment and the side property line.

\*\*\* Canopies, awnings and balconies may encroach into the rear setback, as shown in the shaded area.

\*\*\*\* See Chapter 9, Definitions, for examples.

## TOWN CENTER CORE (TCC) ZONE STANDARDS

### Principal Use

#### Recreation, Education & Public Assembly

Health club/exercise facility	P
Theater, cinema	P
> 15,000 sf	NP
Library, museum, art gallery	P
Studio: art, dance, music, etc.	P
Campgrounds	CU
Municipal/quasi-public uses	P
Indoor recreation facility	NP
Outdoor recreation facility	NP
Houses of worship	P
Public park, square or plaza	P
Golf course and Related Auxillary Facilities	CU

#### Residential

Mixed-use building with residential units	P
Multi-family dwellings as part of a Planned Unit Development	CU

#### Transportation, Utilities

Public utility	CU
----------------	----

### Accessory Use

Off-street parking	P
Off-street loading	P
Parking decks and structures	P
Parks, plazas, courtyards and playgrounds	P
Garages	P
Temporary construction trailers	P
Street furnishings, planters, street lights	P
Sidewalk cafes associated with restaurant	P
Fences and walls	P
Decks, patios, terraces, etc.	P
Signage	P
Trash receptacles	P
Outdoor storage	NP

### Principal Use

#### Retail

General retail, except:	P
> 15,000 sf single use	NP
with drive-through facilities	CU
Supermarket	P
> 15,000 sf	NP
Restaurants, taverns	P
with drive-through facilities	NP
that serve alcoholic beverages	CU
Fast food establishments	NP
Liquor stores	CU
Automobile repair, service, gas station	NP

#### Services

Financial services	P
with drive-through facilities	CU
Medical services	P
Offices	P
Hotel	CU
with conference center	CU
Motel	NP
Daycare	P
Personal services	P

### Key

<b>P</b>	Permitted Use
<b>CU</b>	Conditional Use
<b>NP</b>	Not Permitted

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## TOWN CENTER (TC) ZONE STANDARDS

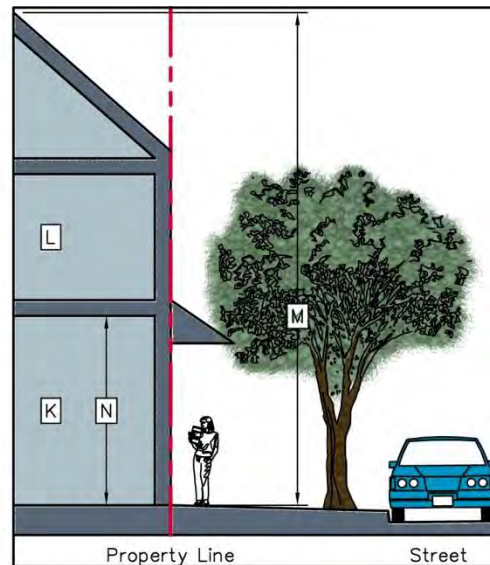
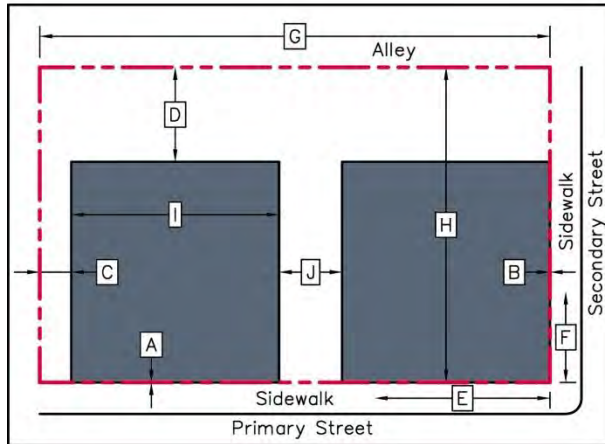


Conceptual view of one acre lot in TC Zone.



Conceptual view of two one-acre developments in the TC Zone.

## TOWN CENTER (TC) ZONE STANDARDS



### Building Placement

#### Build-to-Line (Distance from Lot Line)

Front - Primary Street	0' min. - 8' max.	<b>A</b>
Front - Secondary Street	0' min. - 4' max.	<b>B</b>
Side	30' min.	<b>C</b>
Rear	55' min.	<b>D</b>

#### Building Form

Primary Street Façade built to BTL*	50% at 0'	<b>E</b>
Secondary Street Façade built to BLT*	30% at 0'	<b>F</b>
Lot Width	150' min.	<b>G</b>
Lot Depth	200' min.	<b>H</b>
Lot Size	1 acre min.	
Building Length	100' max.	<b>I</b>
Distance between Buildings**	20' max.	<b>J</b>

#### Notes

\*While buildings are required to abut the BTL, they are not permitted to obstruct sight triangles.

\*\* Along primary street frontage, where multiple buildings are proposed on one lot.

Any building façade over 30' wide must be broken down to read as a series of buildings no wider than 30' each.

All buildings must have a primary ground floor entrance that faces the primary street; all doors shall be set back a minimum of 4' from the build-to-line.

### Use

Ground Floor	Retail, Services, Recreation, Education & Public Assembly	<b>K</b>
Upper Floor(s)	Residential, Retail, Services, Recreation, Education & Public Assembly	<b>L</b>

### Height

Building Maximum	2.5 stories / 30'	<b>M</b>
First Floor Ceiling Height	10' min. clear	<b>N</b>

### Coverage

Building	35% max.
Impervious	70% max.

### Dwelling Unit Density Per Acre

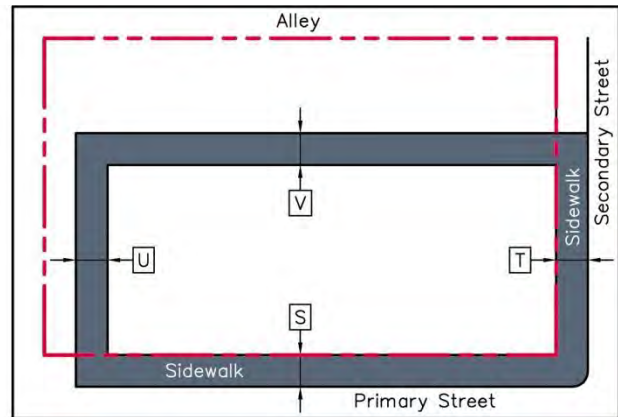
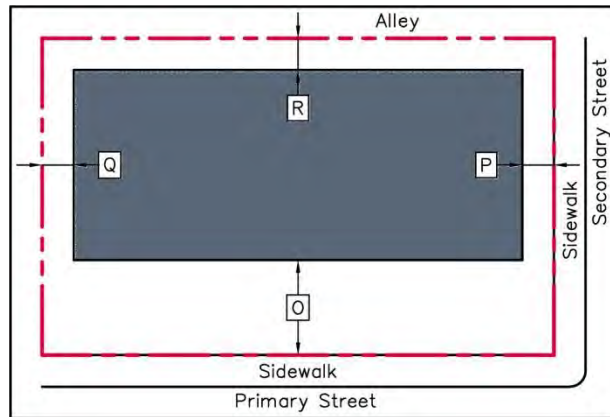
As-of-Right	2 max.
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### Notes

All residential development shall comply with the Township's affordable housing requirements at the time of application submission.

Loading docks and service entries are prohibited on facades that face a street.

## TOWN CENTER (TC) ZONE STANDARDS



Red line = property line

Parking			
Location (Distance from Lot Line)			
Front - Primary Street Setback	30' min.	<b>O</b>	
Front - Secondary Street Setback	10' min.	<b>P</b>	
Side Setback	10' min.	<b>Q</b>	
Rear Setback	10' min.	<b>R</b>	
Required Spaces			
Automobile			
See Chapter 185.33 of the Zoning Ordinance			
Bicycle			
1 space per 20 automobile spaces			
Notes			
Shared parking is permitted for mixed-use developments when pedestrian access is provided from the street to the rear parking area. Up to a maximum of 20% of the required spaces may be shared.			
Driveways are discouraged along State and County Roads and are only permitted if there is no other option for access to parking areas.			

Encroachments			
Location			
Front - Primary Street*	6' max.	<b>S</b>	
Front - Secondary Street*	6' max.	<b>T</b>	
Side**	6' max.	<b>U</b>	
Rear***	6' max.	<b>V</b>	
Permitted Frontage Types***			
Shopfront	8' min. clearance		
Forecourt			
Notes			
*No encroachments are permitted along a County Road and only awning, canopy and hanging sign encroachments are permitted along a State or local road, which must receive an air rights easement. This includes doors that would swing out into the right-of-way; doors located along a County or local right-of-way must be set back a minimum of 4' from the right-of-way.			
**Awnings, canopies and balconies may encroach the side setback, as shown in the shaded area. However, a 10' clearance must be maintained between any encroachment and the property line.			
***Canopies, awnings and balconies may encroach into the rear setback, as shown in the shaded area.			
**** See Chapter 9, Definitions, for examples.			

## TOWN CENTER (TC) ZONE STANDARDS

### Principal Use

#### Recreation, Education & Public Assembly

Indoor recreation facility	P
> 15,000 sf	NP
Outdoor recreation facility	CU
Health club/exercise facility	P
Theater, cinema	P
> 15,000 sf	NP
Library, museum, art gallery	P
Studio: art, dance, music, etc.	P
Campgrounds	CU
Municipal/quasi-public uses	P
Houses of worship	P
Public park, square or plaza	P

#### Residential

Mixed-use building with residential units	p
---	---

#### Transportation, Utilities

Public utility	CU
----------------	----

### Principal Use

#### Retail

General retail, except:	P
> 15,000 sf single use	NP
with drive-through facilities	CU
Restaurants, taverns	P
with drive-through facilities	NP
that serve alcoholic beverages	CU
Liquor stores	CU
Fast food establishments	NP
Automobile repair, service, gas station	NP

#### Services

Financial services	P
with drive-through facilities	CU
Medical services	P
Offices	P
Hotel	CU
Motel	NP
Daycare	P
Personal services	P

### Accessory Use

Off-street parking	P
Off-street loading	P
Parking decks and structures	P
Parks, plazas, courtyards and playgrounds	P
Garages	P
Temporary construction trailers	P
Street furnishings, planters, street lights	P
Sidewalk cafes associated with restaurant	P
Fences and walls	P
Decks, patios, terraces, etc.	P
Signage	P
Trash receptacles	P
Outdoor storage	NP

### Key

**P** Permitted Use

**CU** Conditional Use

**NP** Not Permitted



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## *TOWN CENTER RESIDENTIAL (TCR) ZONE STANDARDS*

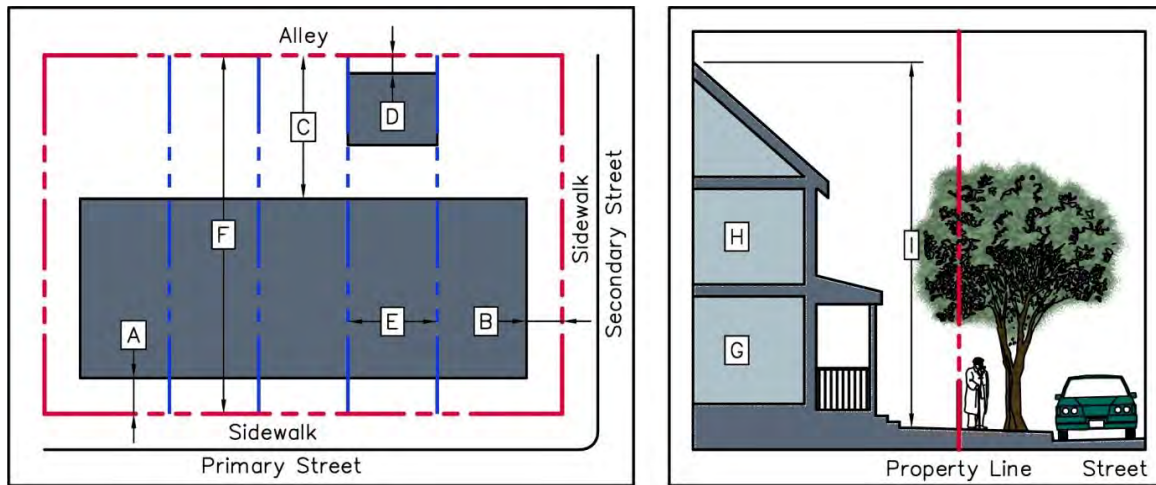


Conceptual Primary Street view of townhouses to the left and a two-family home to the right.



Conceptual rear yard view of townhouses.

## TOWN CENTER RESIDENTIAL (TCR) ZONE STANDARDS



Red line = tract property line; Blue line = hypothetical townhome unit lines

### Tract Standards\*

Tract Width	150' min.	
Tract Depth	275' min.	<b>F</b>
Tract Size	1 acre min.	
Open Space Buffer from all Non-Street Property Lines	10' min.	

### Building Placement

#### Build-to-Line (Distance from Tract Line)

Front - Primary Street	25'	<b>A</b>
Front - Secondary Street	25'	<b>B</b>
Side	35' min.	
Rear	80' min.	<b>C</b>
Side, Accessory Building	5' min.	
Rear, Accessory Building	5' min.	<b>D</b>

### Building Form

Townhouse Unit Width	25' min.	<b>E</b>
Townhouse Building Length	150' max.	
Distance between Buildings**	20' min.	

### Notes

\*Tract standards assume that there is a privately constructed and maintained wastewater treatment facility. Where no such facility exists, the TR Zone bulk standards and permitted uses shall be followed.

\*\* A long primary street frontage, where multiple buildings are proposed on one lot.

### Use

Ground Floor	Residential & Recreation	<b>G</b>
Upper Floor(s)	Residential & Recreation	<b>H</b>

### Height

Building Max.	2.5 stories / 30'	<b>I</b>
---------------	-------------------	----------

### Coverage

Building	35% max.
Impervious	60% max.

### Dwelling Unit Density Per Acre

As-of-Right	2 max.
-------------	--------

### Notes

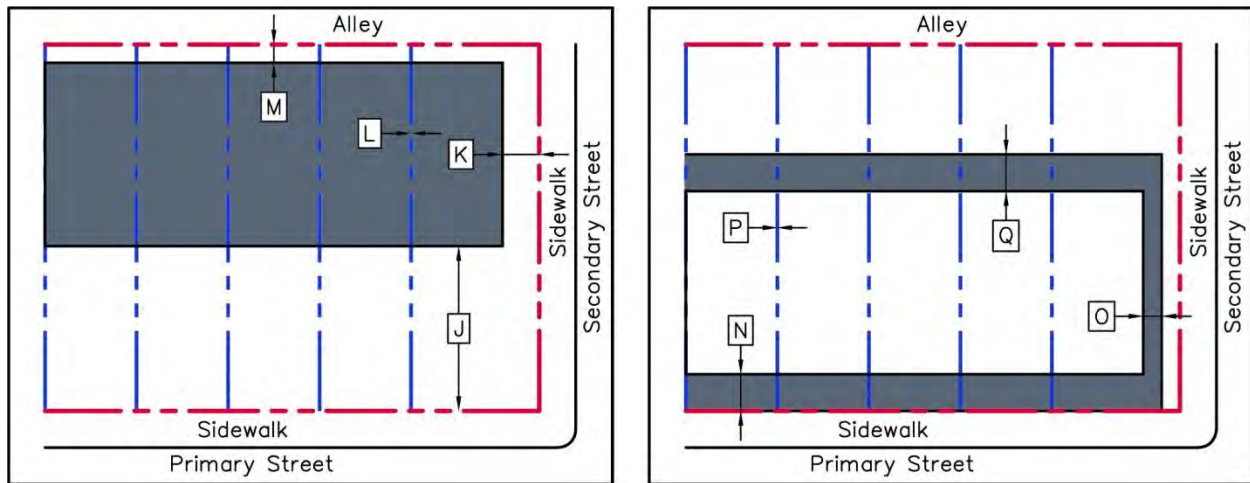
All residential development shall comply with the Township's affordable housing requirements at the time of application submission.

All buildings must have a primary ground floor entrance that faces the primary street. Garage doors are not permitted on the front façade of the principal building.

Any building over 30' wide must be broken down to read as a series of units no wider than 30'.



## TOWN CENTER RESIDENTIAL (TCR) ZONE STANDARDS



Red line = tract property line; Blue line = hypothetical townhome unit lines

Parking			
Location (Distance from Lot Line)			
Front - Primary Street Setback	30' min.	<b>J</b>	
Front - Secondary Street Setback	10' min.	<b>K</b>	
Side Setback*	3' min.	<b>L</b>	
Rear Setback**	5' min.	<b>M</b>	
Required Spaces			
Automobile			
See Chapter 185.33 of the Zoning Ordinance			
Bicycle			
1 space per 20 automobile spaces			
Notes			
Driveways are discouraged along State and County Roads and are only permitted if there is no other option for access to parking areas.			
*Note that garages that share a common wall with the adjacent lot's garage are allowed to be located at the 0' BTL.			
**It is the intent of the ordinance to have all parking located behind the building and accessed by alleys, where possible.			

Encroachments			
Location			
Front - Primary Street*	10' max.	<b>N</b>	
Front - Secondary Street*	10' max.	<b>O</b>	
Side	10' max.	<b>P</b>	
Rear**	30' max.	<b>Q</b>	
Permitted Frontage Types***			
Forecourt			
Residential Stoop			
Residential Porch			
Notes			
*Canopies, awnings, porches and stoops may encroach into the primary or secondary street setback, as shown in the shaded areas.			
**Canopies, awnings, porches, stoops, decks, balconies, etc. may encroach into the rear setback, as shown in the shaded area.			
*** See Chapter 9, Definitions, for examples.			

## TOWN CENTER RESIDENTIAL (TCR) ZONE STANDARDS

Principal Use	
Recreation	
Golf course and Related Auxillary Facilities	CU
Park, public square	P
Community building & related recreational facilities	P
Residential	
Single-family dwellings	P
Two-family dwellings	P
Townhouses	P
Assisted living facility	CU
Residential health care facility	CU
Center residential cluster	CU

Principal Use	
Transportation, Utilities	
Public utility	CU

Accessory Use	
Off-street parking	P
Trash receptacles	P
Signage	P
Parks, plazas, courtyards and playgrounds	P
Fences and walls	P
Decks, patios, terraces, etc.	P
Solar energy systems (subject to Section § 185-65.1.)	P
Private swimming pools, except:	P
Lots less than 35,000 sf	NP
Temporary construction trailers	P
Tool and storage sheds	P
Garages, excluding commercial vehicles	P
Outdoor storage	P

Key	
<b>P</b>	Permitted Use
<b>CU</b>	Conditional Use
<b>NP</b>	Not Permitted

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## *TOWN RESIDENTIAL (TR) ZONE STANDARDS*

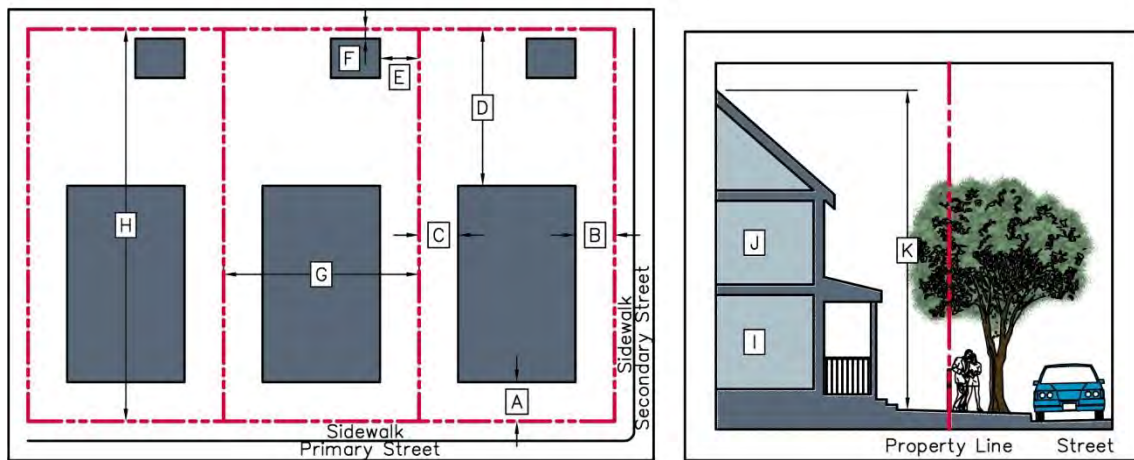


Conceptual aerial view of TR Zone.



Conceptual neighborhood view of TR Zone.

## TOWN RESIDENTIAL (TR) ZONE STANDARDS

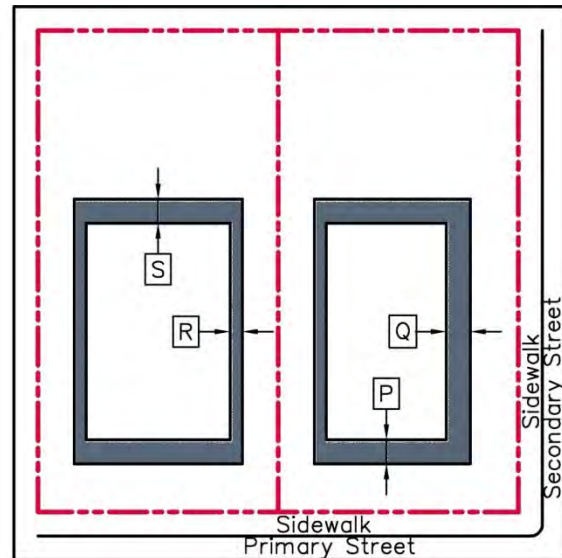
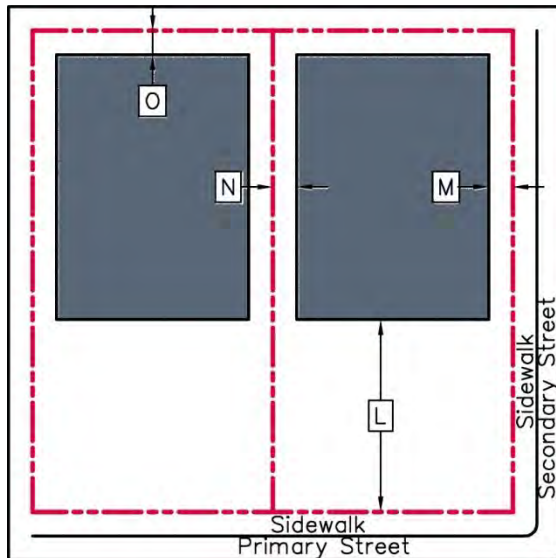


Red line = property line

Building Placement		
Build-to-Line (Distance from Lot Line)		
Front - Primary Street	40'	A
Front - Secondary Street	40'	B
Side	30' min.	C
Rear	70' min.	D
Side, Accessory Building	5' min.	E
Rear, Accessory Building	5' min.	F
Building Form		
Lot Width	100' min.	G
Lot Depth	200' min.	H
Lot Area	35,000 sf min.	
Footprint of Accessory Building	750 sf max.	
Notes		
All buildings must have a primary ground floor or entrance that faces the primary street.		

Use		
Ground Floor	Residential, Recreation & Public Assembly	I
Upper Floor(s)	Residential & Public Assembly	J
Height		
Building Maximum	2.5 stories / 30'	K
Coverage		
Building	35% max.	
Impervious	60% max.	
Notes		
Garage doors are not permitted on the front façade of the principal use.		
All residential development shall comply with the Township's affordable housing requirements at the time of application submission.		

## TOWN RESIDENTIAL (TR) ZONE STANDARDS



Red line = property line

### Parking

#### Location (Distance from Lot Line)

Front - Primary Street Setback	50' min.	<b>L</b>
Front - Secondary Street Setback	10' min.	<b>M</b>
Side Setback	10' min.	<b>N</b>
Rear Setback	10' min.	<b>O</b>

#### Required Spaces

Automobile

See Chapter 185.33 of the Zoning Ordinance

### Encroachments

#### Location

Front - Primary Street*	10' max.	<b>P</b>
Front - Secondary Street*	10' max.	<b>Q</b>
Side**	10' max.	<b>R</b>
Rear**	30' max.	<b>S</b>

#### Permitted Frontage Types\*\*\*

Residential Stoop

Residential Porch

#### Notes

\*Canopies, awnings, porches and stoops may encroach into the primary or secondary street setback, as shown in the shaded areas.

\*\*Canopies, awnings, porches, stoops, decks, balconies, etc. may encroach into the side and rear setback, as shown in the shaded areas.

\*\*\* See Chapter 9, Definitions, for examples.



## TOWN RESIDENTIAL (TR) ZONE STANDARDS

Principal Use		Principal Use	
Recreation, Education & Public Assembly		Utilities	
Municipal/quasi-public uses	P	Public utility	CU
Park, public square	P		
Community building & related recreational facilities	P		
Residential			
Single-family detached dwellings	P		

Accessory Use	
Off-street parking	P
Travel trailers and campers located in rear or side yard	P
Private residential swimming pools	P
Garages, excluding commercial vehicles	P
Temporary construction trailers	P
Signage	P
Fences and walls	P
Decks, patios, terraces, etc.	P
Residential agriculture	P
Small wind energy systems (subject to Section § 185-65.	P
Outdoor Storage	P
Solar energy systems (subject to Section § 185-65.1.)	P
Tool and storage sheds*	P
Notes	
* Limited to 15' in height and 150 square feet in floor area.	

Key	
<b>P</b>	Permitted Use
<b>CU</b>	Conditional Use
<b>NP</b>	Not Permitted

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## CLERMONT VILLAGE COMMERCIAL (CVC) ZONE STANDARDS

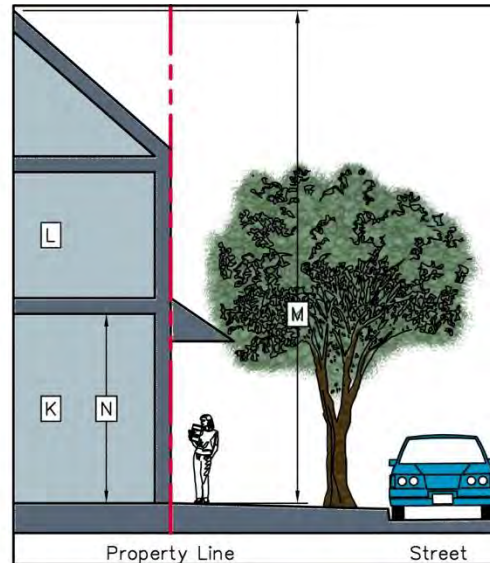
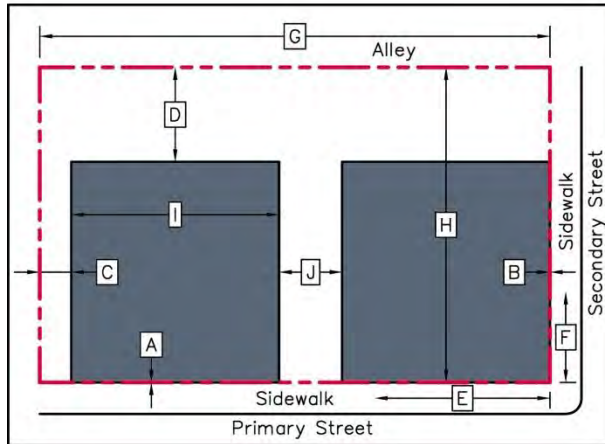


Conceptual sketch of two one-acre developments within the CVC Zone.



Conceptual sketch of a street view within the CVC Zone.

## CLERMONT VILLAGE COMMERCIAL (CVC) ZONE STANDARDS



### Tract Standards\*

Tract Width	150' min.	
Tract Depth	275' min.	<b>F</b>
Tract Size	1 acre min.	
Open Space Buffer from all Non-Street Property Lines	10' min.	

### Building Placement

#### Build-to-Line (Distance from Lot Line)

Front - Primary Street	25'	<b>A</b>
Front - Secondary Street	25'	<b>B</b>
Side	35'	
Rear	80' min.	<b>C</b>
Side, Accessory Building	5' min.	
Rear, Accessory Building	5' min.	<b>D</b>

### Building Form

Townhouse Unit Width	25' min.	<b>E</b>
Townhouse Building Length	150' max.	
Distance between Buildings**	20' min.	

### Notes

\*Tract standards assume that there is a privately constructed and maintained wastewater treatment facility. Where no such facility exists, the TR Zone bulk standards and permitted uses shall be followed.

\*\* Along primary street frontage, where multiple buildings are proposed on one lot.

### Use

Ground Floor	Residential & Recreation	<b>G</b>
Upper Floor(s)	Residential & Public Assembly	<b>H</b>

### Height

Building Max.	2.5 stories / 30'	<b>I</b>
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### Coverage

Building	35% max.
Impervious	60% max.

### Dwelling Unit Density Per Acre

As-of-Right	2 max.
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### Notes

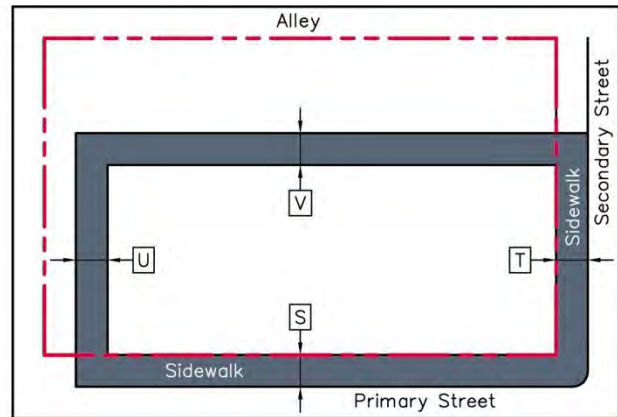
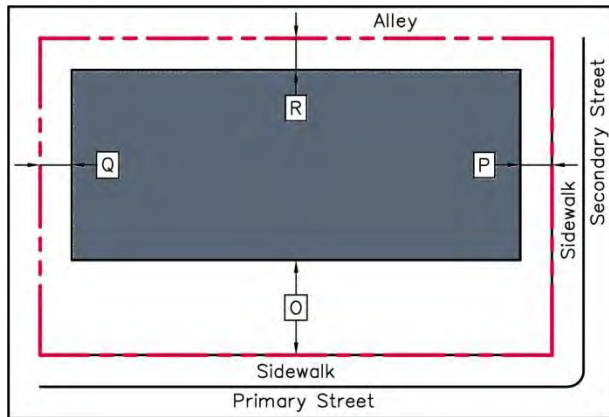
All residential development shall comply with the Township's affordable housing requirements at the time of application submission.

All buildings must have a primary ground floor entrance that faces the primary street. Garage doors are not permitted on the front façade of the principal building.

Any building over 30' wide must be broken down to read as a series of units no wider than 30'.



## CLERMONT VILLAGE COMMERCIAL (CVC) ZONE STANDARDS



### Parking

#### Location (Distance from Lot Line)

Front - Primary Street Setback	30' min.	<b>O</b>
Front - Secondary Street Setback	10' min.	<b>P</b>
Side Setback	10' min.	<b>Q</b>
Rear Setback	10' min.	<b>R</b>

#### Required Spaces

Automobile

See Chapter 185.33 of the Zoning Ordinance

Bicycle

1 space per 20 automobile spaces

#### Notes

Shared parking is permitted for mixed-use developments when pedestrian access is provided from the street to the rear parking area. Up to a maximum of 20% of the required spaces may be shared.

Driveways are discouraged along State and County Roads and are only permitted if there is no other option for access to parking areas.

### Encroachments

#### Location

Front - Primary Street*	6' max.	<b>S</b>
Front - Secondary Street*	6' max.	<b>T</b>
Side**	6' max.	<b>U</b>
Rear***	6' max.	<b>V</b>

#### Permitted Frontage Types

Shopfront\*\*\*\*

8' min. clearance

Forecourt\*\*\*\*

#### Notes

\*No encroachments are permitted along a County Road and only awning, canopy and sign encroachments are permitted along a State or local road, which must receive an air rights easement. This includes doors that would swing out into the right-of-way; doors located along a County or local right-of-way must be set back a minimum of 4' from the right-of-way.

\*\*Awnings, canopies and balconies may encroach the side setback, as shown in the shaded area. However, a 10' clearance must be maintained between any encroachment and the side property line.

\*\*\* Canopies, awnings and balconies may encroach into the rear setback, as shown in the shaded area.

\*\*\*\* See Chapter 9, Definitions, for examples.

## CLERMONT VILLAGE COMMERCIAL (CVC) ZONE STANDARDS

Principal Use	
Recreation, Education & Public Assembly	
Health club/exercise facility	P
Theater, cinema	P
> 15,000 sf	NP
Library, museum, art gallery	P
Studio: art, dance, music, etc.	P
Campgrounds	CU
Municipal/quasi-public uses	P
Indoor recreation facility	NP
Outdoor recreation facility	NP
Houses of worship	P
Public park, square or plaza	P
Residential	
Mixed-use building with residential units	P
Transportation, Utilities	
Public utility	CU

Accessory Use	
Off-street parking	P
Off-street loading	P
Parks, plazas, courtyards and playgrounds	P
Garages	P
Temporary construction trailers	P
Street furnishings, planters, street lights	P
Sidewalk cafes associated with restaurants	P
Fences and walls	P
Decks, patios, terraces, etc.	P
Signage	P
Trash receptacles	P
Outdoor storage	NP
Parking decks and structures	P

Principal Use	
Retail	
General retail, except:	P
> 15,000 sf single use	NP
with drive-through facilities	CU
Supermarket	P
> 15,000 sf	NP
Restaurants, taverns	P
with drive-through facilities	NP
that serve alcoholic beverages	CU
Fast food establishments	NP
Liquor stores	CU
Automobile repair, service, gas station	NP
Services	
Financial services	P
with drive-through facilities	CU
Medical services	P
Offices	P
Hotel	CU
with conference center	CU
Motel	NP
Daycare	P
Personal services	P

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*CLERMONT VILLAGE RESIDENTIAL (CVR) ZONE STANDARDS*



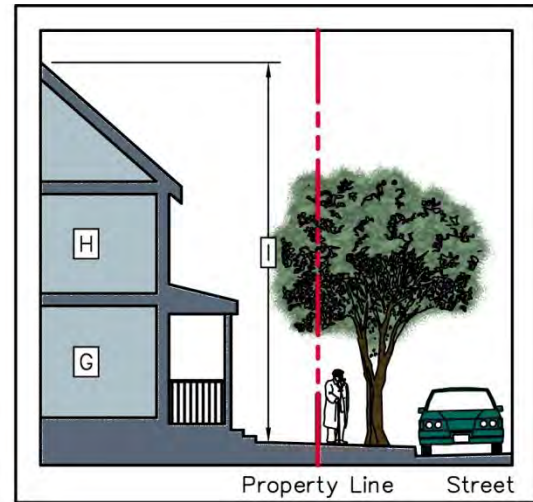
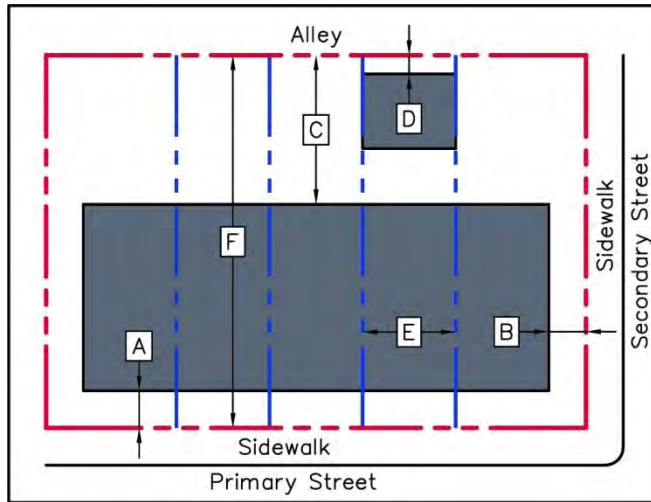
Conceptual sketch of two duplex (two-family) units within the CVR Zone.



Conceptual sketch of a two-family home.



## CLERMONT VILLAGE RESIDENTIAL (CVR) ZONE STANDARDS



### Tract Standards\*

Tract Width	150' min.	
Tract Depth	275' min.	<b>F</b>
Tract Size	1 acre min.	
Open Space Buffer from all Non-Street Property Lines	10' min.	

### Building Placement

#### Build-to-Line (Distance from Lot Line)

Front - Primary Street	25'	<b>A</b>
Front - Secondary Street	25'	<b>B</b>
Side	35'	
Rear	80' min.	<b>C</b>
Side, Accessory Building	5' min.	
Rear, Accessory Building	5' min.	<b>D</b>

### Building Form

Townhouse Unit Width	25' min.	<b>E</b>
Townhouse Building Length	150' max.	
Distance between Buildings**	20' min.	

### Notes

\*Tract standards assume that there is sewer or a package treatment plant. Where no sewer/package treatment plant exists, the CR Zone bulk standards and permitted uses shall be followed.

\*\* Along primary street frontage, where multiple buildings are proposed on one lot.

### Use

Ground Floor	Residential & Recreation	<b>G</b>
Upper Floor(s)	Residential & Public Assembly	<b>H</b>

### Height

Building Max.	2.5 stories / 30'	<b>I</b>
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### Coverage

Building	35% max.
Impervious	60% max.

### Dwelling Unit Density Per Acre

As-of-Right	2 max.
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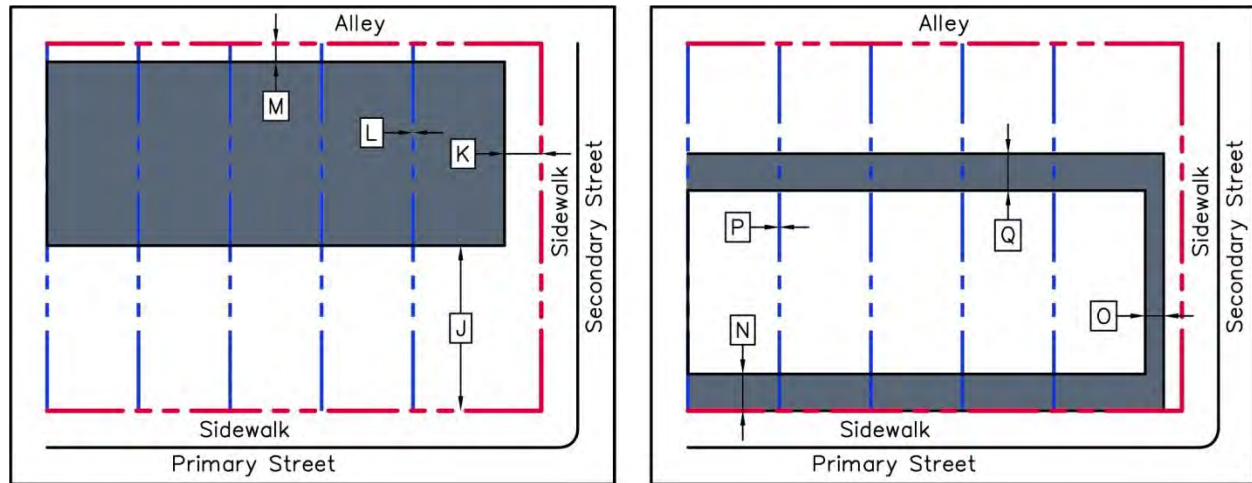
### Notes

All residential development shall comply with the Township's affordable housing requirements at the time of application submission.

All buildings must have a primary ground floor entrance that faces the primary street. Garage doors are not permitted on the front façade of the principal building.

Any building over 30' wide must be broken down to read as a series of units no wider than 30'.

## CLERMONT VILLAGE RESIDENTIAL (CVR) ZONE STANDARDS



Red line = tract property line; Blue line = hypothetical townhome unit lines

### Parking

#### Location (Distance from Lot Line)

Front - Primary Street Setback	30' min.	<b>J</b>
Front - Secondary Street Setback	10' min.	<b>K</b>
Side Setback*	3' min.	<b>L</b>
Rear Setback**	5' min.	<b>M</b>

#### Required Spaces

Automobile

See Chapter 185.33 of the Zoning Ordinance

Bicycle

1 space per 20 automobile spaces

#### Notes

Driveways are discouraged along State and County Roads and are only permitted if there is no other option for access to parking areas.

\*Note that garages that share a common wall with the adjacent lot's garage are allowed to be located at the 0' BTL.

\*\*It is the intent of the ordinance to have all parking located behind the building and accessed by alleys, where possible.

### Encroachments

#### Location

Front - Primary Street*	10' max.	<b>N</b>
Front - Secondary Street*	10' max.	<b>O</b>
Side**	10' max.	<b>P</b>
Rear**	30' max.	<b>Q</b>

#### Permitted Frontage Types\*\*\*

Forecourt

Residential Stoop

Residential Porch

#### Notes

\*Canopies, awnings, porches and stoops may encroach into the primary or secondary street setback, as shown in the shaded areas.

\*\*Canopies, awnings, porches, stoops, decks and balconies may encroach into the side or rear setback, as shown in the shaded area.

\*\*\* See Chapter 9, Definitions, for examples.



## CLERMONT VILLAGE RESIDENTIAL (CVR) ZONE STANDARDS

Principal Use		Principal Use	
Recreation & Public Assembly		Transportation, Utilities	
Park, public square	P	Public utility	CU
Community building & related recreational facilities	P		
Residential			
Single-family dwellings	P		
Two-family dwellings	P		
Townhouses	P		
Assisted living facility	CU		
Residential health care facility	CU		
Center residential cluster	CU		

Accessory Use	
Off-street parking	P
Private residential swimming pools, except:	P
Lots less than 35,000 sf	NP
Garages, excluding commercial vehicles	P
Temporary construction trailers	P
Trash receptacles	P
Signage	P
Parks, plazas, courtyards and playgrounds	P
Fences and walls	P
Solar energy systems (subject to Section § 185-65.1.)	P
Tool and storage sheds	P
Outdoor storage	P

Key	
<b>P</b>	Permitted Use
<b>CU</b>	Conditional Use
<b>NP</b>	Not Permitted

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*CLERMONT RESIDENTIAL (CR) ZONE STANDARDS*



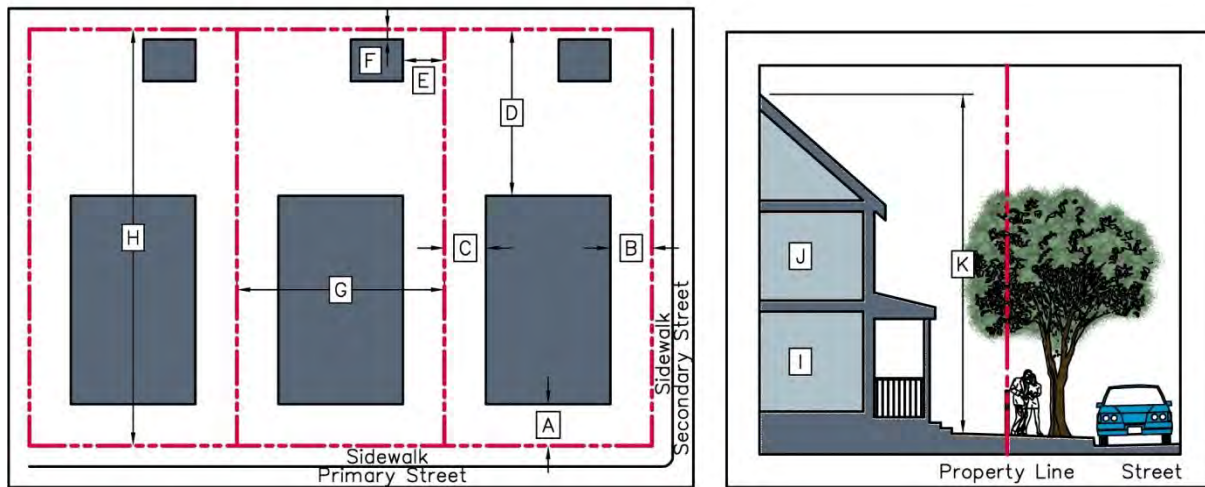
Conceptual bird's eye view of homes.



Conceptual plan view of homes.



## CLERMONT RESIDENTIAL (CR) ZONE STANDARDS

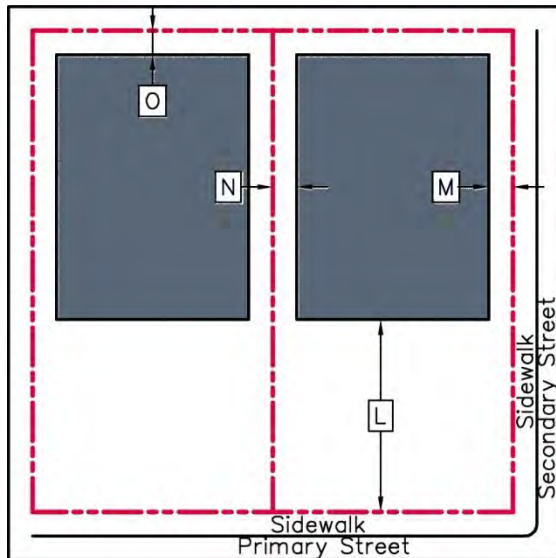


Red line = property line

Building Placement		
Build-to-Line (Distance from Lot Line)		
Front - Primary Street	40'	<b>A</b>
Front - Secondary Street	40'	<b>B</b>
Side	30' min.	<b>C</b>
Rear	70' min.	<b>D</b>
Side, Accessory Building	5' min.	<b>E</b>
Rear, Accessory Building	5' min.	<b>F</b>
Building Form		
Lot Width	100' min.	<b>G</b>
Lot Depth	200' min.	<b>H</b>
Lot Area	35,000 sf min.	
Footprint of Accessory Building	750 sf max.	
Notes		
All buildings must have a primary ground floor entrance that faces the primary street.		

Use		
Ground Floor	Residential, Recreation & Public Assembly	<b>I</b>
Upper Floor(s)	Residential & Public Assembly	<b>J</b>
Height		
Principal Building Max.	2.5 stories / 30'	<b>K</b>
Accessory Bldg Max.	1 story / 15'	
Coverage		
Building	35% max.	
Impervious	60% max.	
Notes		
Garage doors are not permitted on the front façade of the principal use.		
All residential development shall comply with the Township's affordable housing requirements at the time of application submission.		

## CLERMONT RESIDENTIAL (CR) ZONE STANDARDS



Red line = property line

### Parking

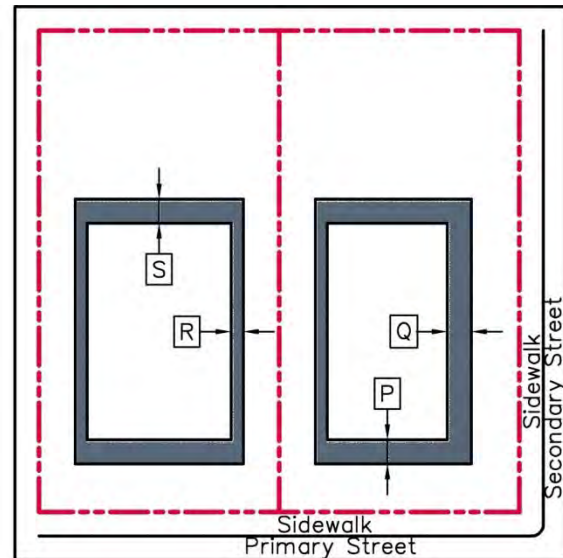
#### Location (Distance from Lot Line)

Front - Primary Street Setback	50' min.	<b>L</b>
Front - Secondary Street Setback	10' min.	<b>M</b>
Side Setback	10' min.	<b>N</b>
Rear Setback	10' min.	<b>O</b>

#### Required Spaces

Automobile

See Chapter 185.33 of the Zoning Ordinance



### Encroachments

#### Location

Front - Primary Street*	10' max.	<b>P</b>
Front - Secondary Street*	10' max.	<b>Q</b>
Side**	10' max.	<b>R</b>
Rear**	30' max.	<b>S</b>

#### Permitted Frontage Types\*\*\*

Residential Stoop

Residential Porch

#### Notes

\*Canopies, awnings, porches & stoops may encroach into the primary or secondary street setback, as shown in the shaded areas.

\*\*Canopies, awnings, porches, stoops, decks, balconies, etc. may encroach into the side and rear setback, as shown in the shaded areas.

\*\*\* See Chapter 9, Definitions, for examples.

## CLERMONT RESIDENTIAL (CR) ZONE STANDARDS

Principal Use		Principal Use	
Recreation, Education & Public Assembly		Utilities	
Municipal/quasi-public uses	P	Public utility	CU
Park, public square	P		
Community building & related recreational facilities	P		
Residential			
Single-family detached dwellings	P		
Accessory Use			
Off-street parking		P	
Travel trailers and campers located in rear or side yard		P	
Private residential swimming pools		P	
Garages, excluding commercial vehicles		P	
Temporary construction trailers		P	
Parks, plazas, courtyards and playgrounds		P	
Signage		P	
Fences and walls		P	
Decks, patios, terraces, etc.		P	
Residential agriculture		P	
Small wind energy systems (subject to Section § 185-65.1.)		P	
Outdoor storage		P	
Solar energy systems (subject to Section § 185-65.1.)		P	
Tool and storage sheds*		P	
Notes			
* Limited to 15' in height and 150 square feet in floor area.			

Key	
<b>P</b>	Permitted Use
<b>CU</b>	Conditional Use
<b>NP</b>	Not Permitted



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*VILLAGE COMMERCIAL (VC) ZONE STANDARDS*

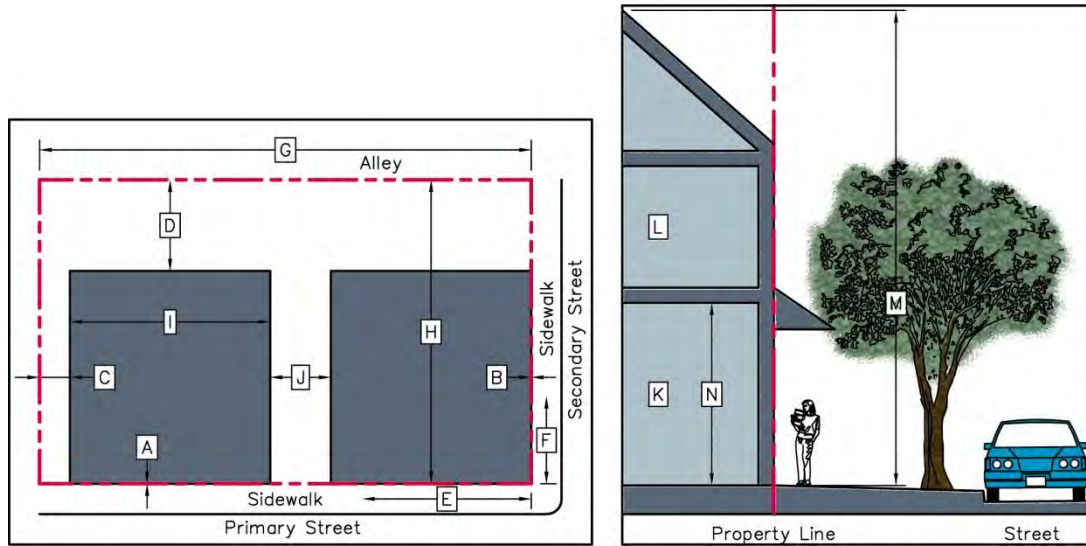


Conceptual Primary Street view of development.



Sidewalk view of conceptual development.

## VILLAGE COMMERCIAL (VC) ZONE STANDARDS



Red line = property line

Building Placement		
Build-to-Line (Distance from Lot Line)		
Front - Primary Street	0' min. - 8' max.	<b>A</b>
Front - Secondary Street	0' min. - 4' max.	<b>B</b>
Side	20' min.	<b>C</b>
Rear	55' min.	<b>D</b>
Building Form		
Primary Street Façade built to BTL*	50% at 0'	<b>E</b>
Secondary Street Façade built to BLT*	30% at 0'	<b>F</b>
Lot Width	100' min.	<b>G</b>
Lot Depth	200' min.	<b>H</b>
Lot Area	35,000 sf min.	
Building Length	100' max.	<b>I</b>
Distance between Buildings**	20' max.	<b>J</b>
Notes		

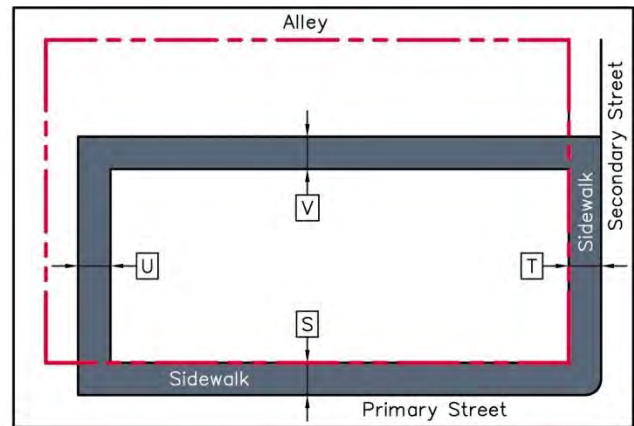
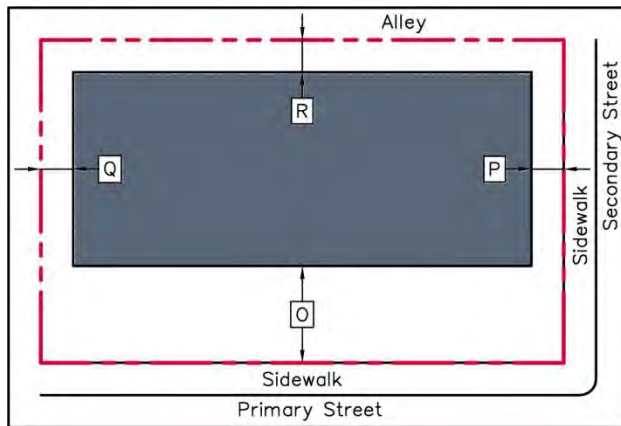
\*While buildings are required to primarily abut the BTL, they are not permitted to obstruct sight triangles.

\*Any building façade over 30' wide must be broken down to read as a series of buildings no wider than 30' each.

\*\* Along primary street frontage, where multiple buildings are proposed on one lot.

Use		
Ground Floor	Services, Retail, Recreation & Public Assembly	<b>K</b>
Upper Floor(s)	Residential, Services & Public Assembly	<b>L</b>
Height		
Building Maximum	2.5 stories / 30'	<b>M</b>
First Floor Ceiling Height	10' min. clear	<b>N</b>
Coverage		
Building	35% max.	
Impervious	60% max.	
Notes		
Loading docks and service entries are prohibited on facades that face a street.		
All buildings must have a primary ground floor entrance that faces the primary street; all doors shall be set back a minimum of 4' from the build-to-line.		

## VILLAGE COMMERCIAL (VC) ZONE STANDARDS



Red line = property line

### Parking

#### Location (Distance from Lot Line)

Front - Primary Street Setback	30' min.	<b>O</b>
Front - Secondary Street Setback	10' min.	<b>P</b>
Side Setback	10' min.	<b>Q</b>
Rear Setback	10' min.	<b>R</b>

#### Required Spaces

Automobile

See Chapter 185.33 of the Zoning Ordinance

Bicycle

1 space per 20 automobile spaces

### Encroachments

#### Location

Front - Primary Street*	6' max.	<b>S</b>
Front - Secondary Street*	6' max.	<b>T</b>
Side**	6' max.	<b>U</b>
Rear**	6' max.	<b>V</b>

#### Permitted Frontage Types\*\*\*

Shopfront

#### Notes

\*No encroachments are permitted along a County Road and only awning, canopy and hanging sign encroachments are permitted along a State or local road, which must receive an air rights easement. This includes doors that would swing out into the right-of-way; doors located along a County or local right-of-way must be set back a minimum of 4' from the right-of-way.

\*\*Awnings, canopies and balconies may encroach the side setback, as shown in the shaded area. However, a 10' clearance must be maintained between any encroachment and the

\*\*\*Canopies, awnings and balconies may encroach into the rear setback, as shown in the shaded area.

\*\*\* See Chapter 9, Definitions, for examples.



## VILLAGE COMMERCIAL (VC) ZONE STANDARDS

Principal Use	
Recreation & Public Assembly	
Library, museum, art gallery	P
Municipal/quasi-public uses	P
Houses of worship	P
Public park, square or plaza	P
Residential	
Mixed-use building with residential units	CU
Utilities	
Public utility	CU

Principal Use	
Retail	
General retail, except:	P
> 5,000 sf single use	NP
with drive through-facilities	NP
Restaurants	P
with drive-through facilities	NP
Fast food establishments	NP
Farm markets	P
Automobile repair, service, gas station	NP
Services	
Financial services	P
with drive-through facilities	CU
Home business	CU
Offices	P
Bed & Breakfast	CU
Personal services	P

Accessory Use	
Off-street parking	P
Off-street loading	P
Garages	P
Temporary construction trailers	P
Fences and walls	P
Signage	P
Trash receptacles	P
Small wind energy systems (subject to Section § 185-65.1.)	P
Solar energy systems (subject to Section § 185-65.1.)	P
Parks, plazas, courtyards and playgrounds	P
Street furnishings, planters, street lights	P
Sidewalk cafes associated with restaurants	P
Decks, patios, terraces, etc.	P
Outdoor storage	NP

Key	
<b>P</b>	Permitted Use
<b>CU</b>	Conditional Use
<b>NP</b>	Not Permitted

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## *VILLAGE RESIDENTIAL (VR) ZONE STANDARDS*

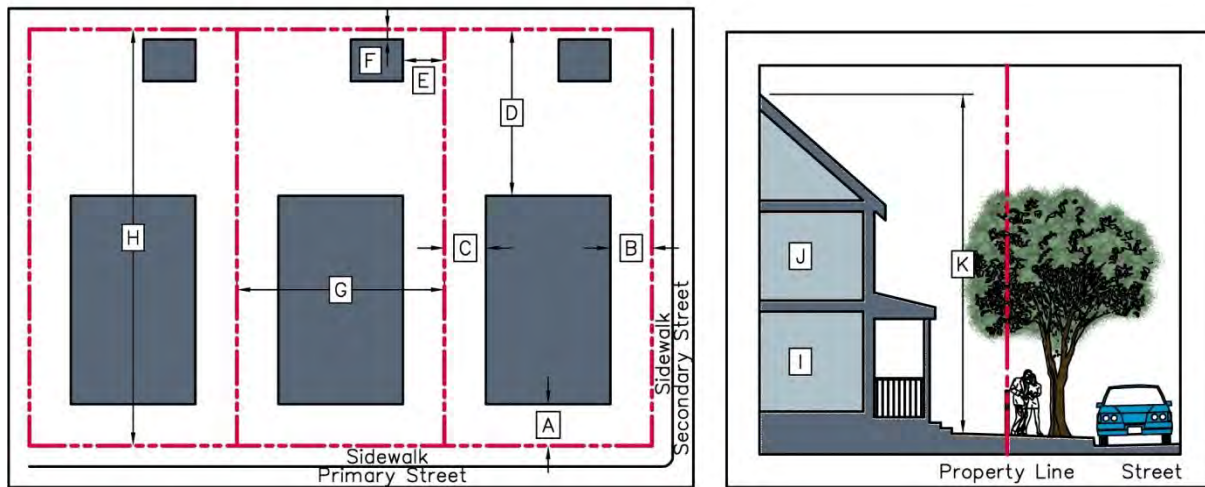


Conceptual neighborhood view of VR Zone.



Conceptual sidewalk view of VR Zone.

## VILLAGE RESIDENTIAL (VR) ZONE STANDARDS



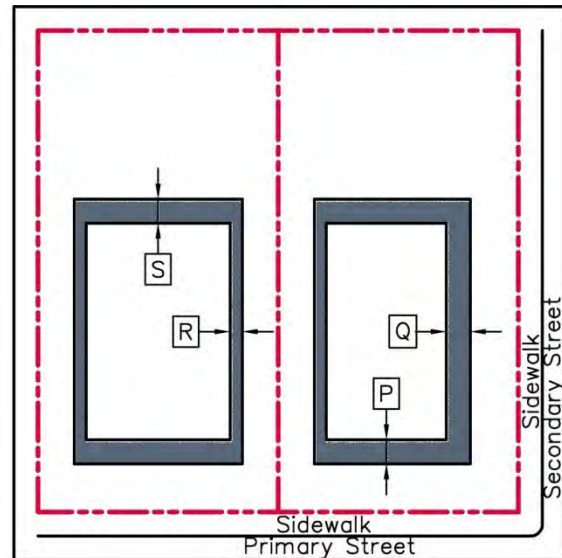
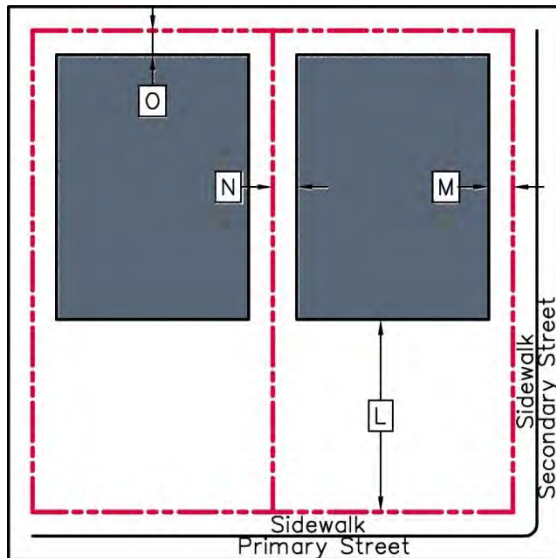
Red line = property line

Building Placement		
Build-to-Line (Distance from Lot Line)		
Front - Primary Street	Varies*	<b>A</b>
Front - Secondary Street	30' min.	<b>B</b>
Side	30' min.	<b>C</b>
Rear	70' min.	<b>D</b>
Side, Accessory Building	5' min.	<b>E</b>
Rear, Accessory Building	5' min.	<b>F</b>
Building Form		
Lot Width	100' min.	<b>G</b>
Lot Depth	200' min.	<b>H</b>
Lot Area	35,000 sf min.	
Notes		
* Front (Primary Street) build-to-line is an average of the front yard setbacks of homes within 200' of property.		
All buildings must have a primary ground floor entrance that faces the primary street.		

Use		
Ground Floor	Residential, Recreation & Public Assembly	<b>I</b>
Upper Floor(s)	Residential, Recreation & Public Assembly	<b>J</b>
Height		
Building Maximum	2.5 stories / 30'	<b>K</b>
Accessory Bldg Max.	2 stories / 25'	
Coverage		
Principal Building	10% max.	
Accessory Building	3.5% max.	
Impervious	60% max.	
Notes		
Garage doors are not permitted on the front façade of the principal building.		
All residential development shall comply with the Township's affordable housing requirements at the time of application submission.		



## VILLAGE RESIDENTIAL (VR) ZONE STANDARDS



Red line = property line

### Parking

#### Location (Distance from Lot Line)

Front - Primary Street Setback	50' min.	<b>L</b>
Front - Secondary Street Setback	30' min.	<b>M</b>
Side Setback	10' min.	<b>N</b>
Rear Setback*	10' min.	<b>O</b>

#### Required Spaces

Automobile

See Chapter 185.33 of the Zoning Ordinance

#### Notes

\*It is the intent of the ordinance to have all parking located behind the building and accessed by alleys or driveways.

### Encroachments

#### Location

Front - Primary Street*	10' max.	<b>P</b>
Front - Secondary Street*	10' max.	<b>Q</b>
Side**	10' max.	<b>R</b>
Rear**	30' max.	<b>S</b>

#### Permitted Frontage Types\*\*\*

Residential Stoop

Residential Porch

#### Notes

\*Canopies, awnings, porches and stoops may encroach into the primary or secondary street setback, as shown in the shaded areas.

\*\*Canopies, awnings, porches, stoops, decks, balconies, etc. may encroach into the side and rear setback, as shown in the shaded areas.

\*\*\* See Chapter 9, Definitions, for examples.

## VILLAGE RESIDENTIAL (VR) ZONE STANDARDS

Principal Use		Principal Use	
Recreation & Public Assembly		Utilities	
Municipal/quasi-public uses	P	Public utility	CU
Houses of worship	P	Services	
Park, public square	P	Bed and breakfast	CU
Community building & related recreational facilities	P	Home businesses	CU
Residential			
Single-family detached dwellings	P		
Accessory Use			
Off-street parking	P		
Travel trailers and campers located in rear or side yard	P		
Private residential swimming pools	P		
Signs	P		
Fences and walls	P		
Residential agriculture	P		
Small wind energy systems (subject to Section § 185-65.1.)	P		
Solar energy systems (subject to Section § 185-65.1.)	P		
Decks, patios, terraces, etc.	P		
Outdoor storage	P		
Garages, excluding commercial vehicles	P		

Key	
<b>P</b>	Permitted Use
<b>CU</b>	Conditional Use
<b>NP</b>	Not Permitted

## OTHER STANDARDS

### *OTHER STANDARDS FOR THE TCC, TC, TCR, TR, CVC, CVR, CR, VC, VR ZONES*

These standards for development within the Dennis Township Town Center and Villages shall take precedence over other site design and development standards if there is a conflict in regulations.

See Section 185-65, for Conditional Use Standards.



# CHAPTER 5 | STREET & CIRCULATION

## STANDARDS

This chapter establishes regulations for existing and proposed streets within the Town Center and Villages. Each street is depicted with a rendered section followed by the specific standards for the overall right-of-way along with dimensions of travel lanes, on-street parking, sidewalks, etc. The Street Regulating Plan is important because it is the “bones” upon which future development and redevelopment hinges. The new development code is based on the location of the street. The majority of the standards are referenced to the build-to-line, which is the street right-of-way. The types and functions of each street are important and impacts development differently. Careful consideration was given to existing streets and how they should change over time to function to serve not only the automobile, but the pedestrian and cyclist as well. The goal of the Street Regulating Plan is to create a grid or network of streets to disperse the traffic and allow for alternative routes.

The Street Regulating Plans for the five study areas follows. These maps show not only existing and proposed streets, but also show the location of existing and proposed traffic lights, roundabouts, gateways and pedestrian crossings. These street sections are conceptual and will be subject to further design and assessment.

# OCEAN VIEW STREET REGULATING PLAN

TOWNSHIP OF DENNIS

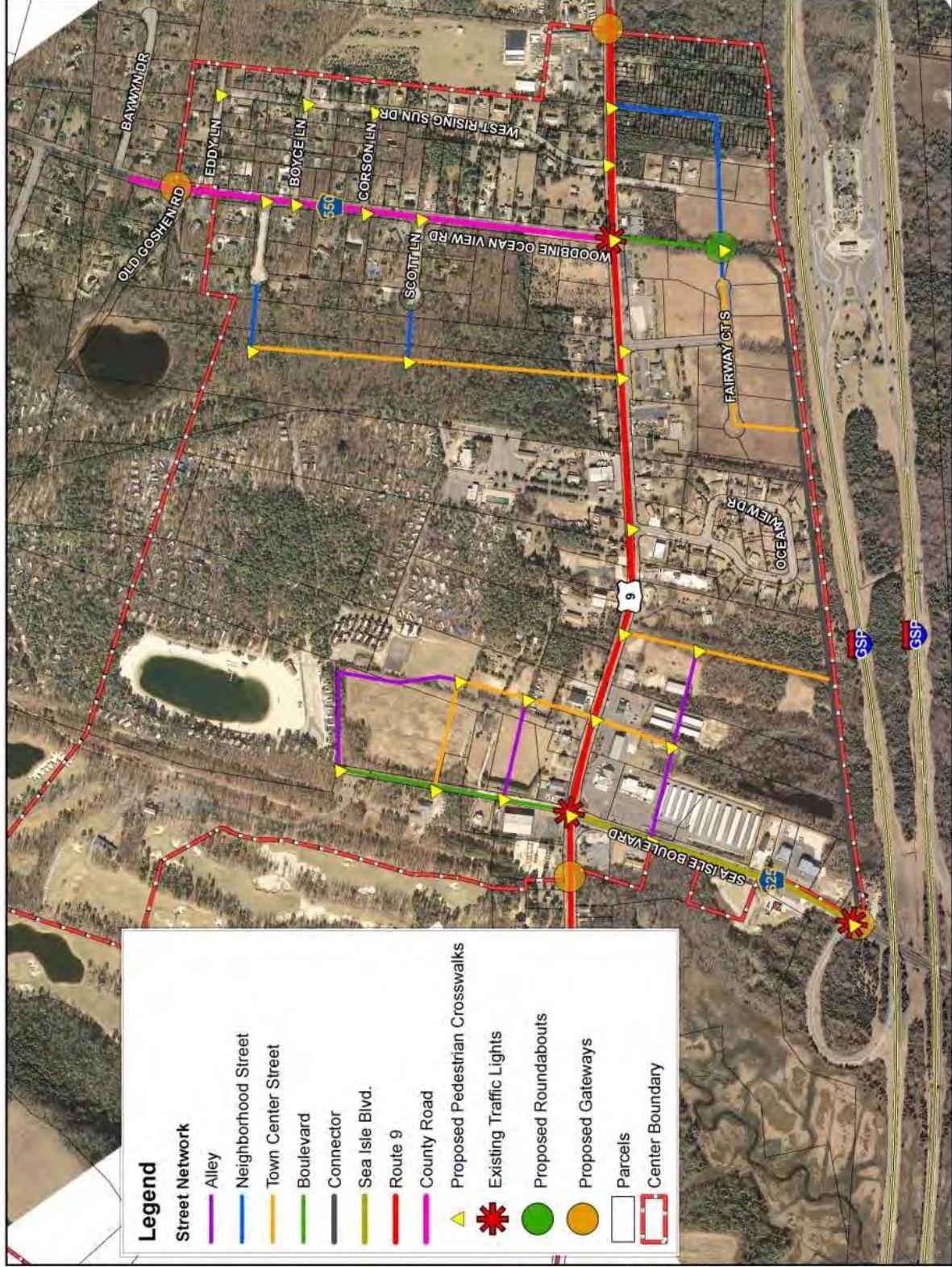
CAPE MAY COUNTY  
NEW JERSEY



DIGITAL DATA SOURCES:  
 -CAPE MAY COUNTY GEOGRAPHIC INFORMATION SYSTEM  
 -NEW JERSEY DEPARTMENT OF TRANSPORTATION  
 -NEW JERSEY DEPARTMENT OF ENVIRONMENTAL PROTECTION  
 -NEW JERSEY DEPARTMENT OF AGRICULTURE, NUTRITION & FORESTRY  
 -NEW JERSEY OFFICE OF INFORMATION TECHNOLOGY OFFICE OF GIS



OCTOBER 2009



## Legend

### Street Network

- Alley
- Neighborhood Street
- Town Center Street
- Boulevard
- Connector
- Sea Isle Blvd.
- Route 9
- County Road

Proposed Pedestrian Crosswalks

Existing Traffic Lights

Proposed Roundabouts

Proposed Gateways

Parcels

Center Boundary



CLERMONT  
STREET  
REGULATING PLAN

**TOWNSHIP  
OF  
DENNIS**

CAPE MAY COUNTY  
NEW JERSEY

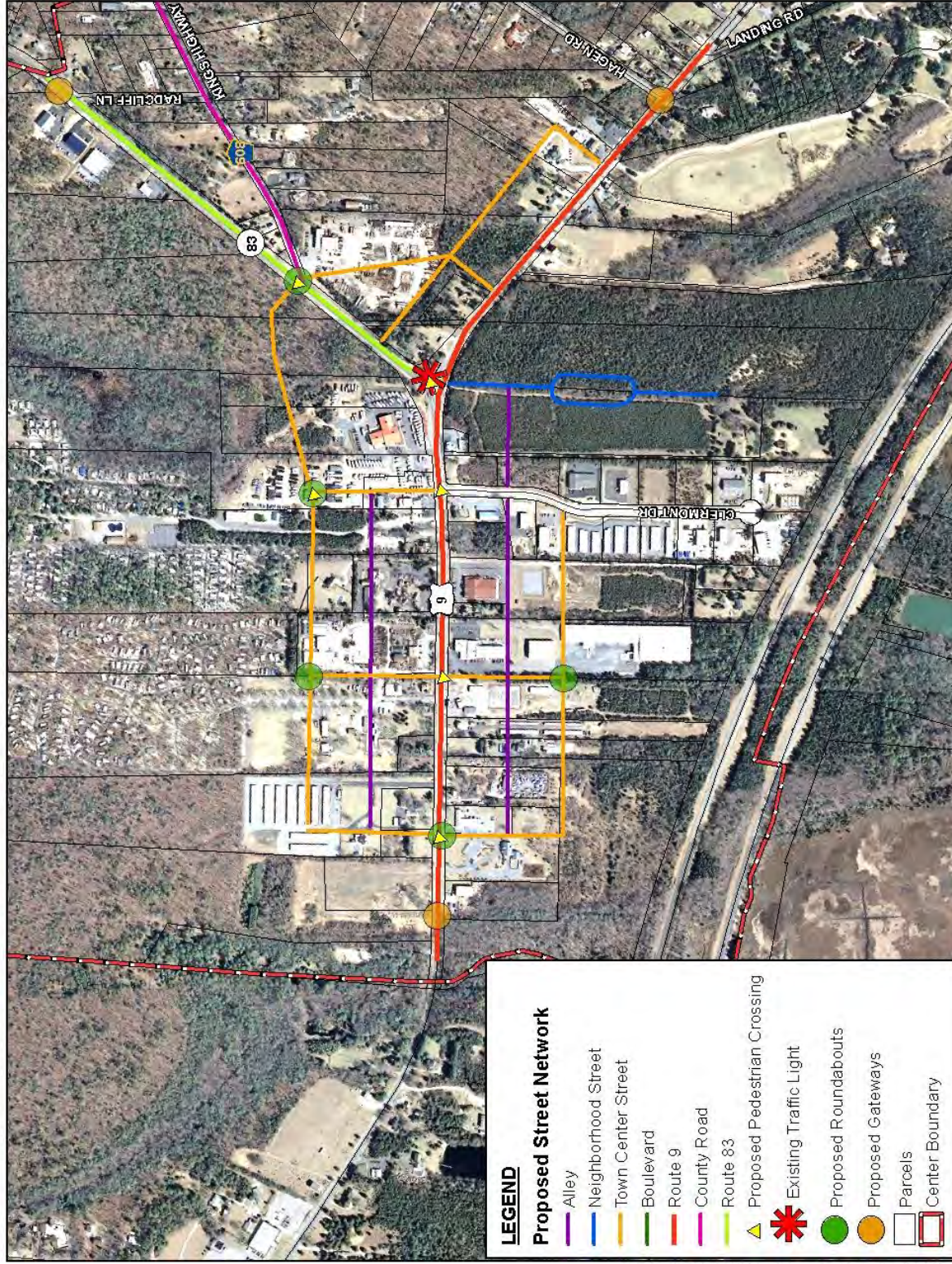


ORIGINAL SPATIAL DATA SOURCES:

- U.S. NAVY COUNTY GEOGRAPHIC INFORMATION SYSTEM
- NEW JERSEY DEPARTMENT OF COMMUNITY AFFAIRS, OFFICE OF SPATIAL DATA
- NEW JERSEY DEPARTMENT OF ENVIRONMENTAL PROTECTION, OFFICE OF GEOGRAPHIC INFORMATION
- UNITED STATES DEPARTMENT OF AGRICULTURE, NATURAL RESOURCES CONSERVATION SERVICES
- NEW JERSEY OFFICE OF INFORMATION TECHNOLOGY



November 2012





# DENNISVILLE STREET REGULATING PLAN

TOWNSHIP OF DENNIS

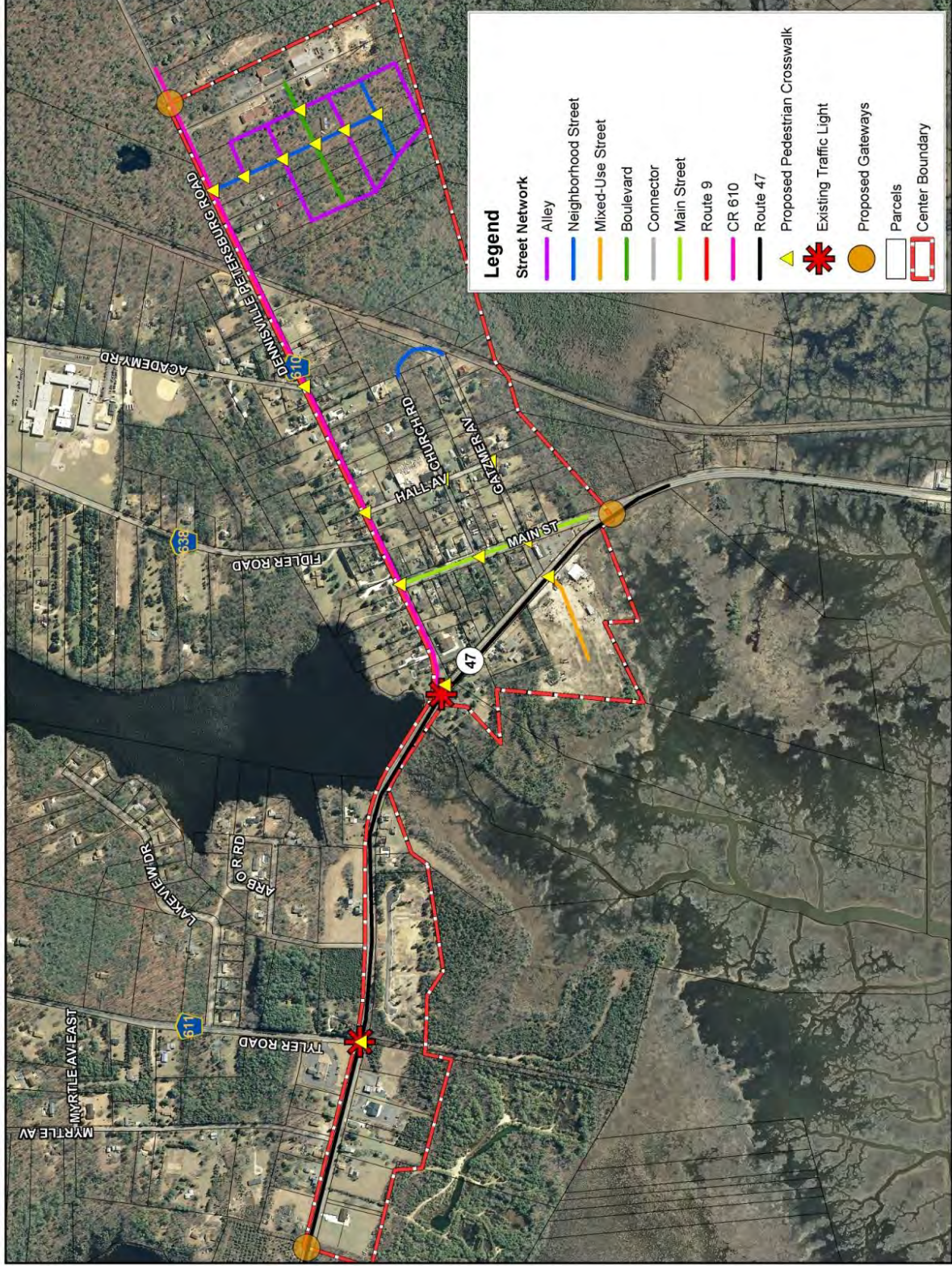
CAPE MAY COUNTY  
NEW JERSEY



DIGITAL SPATIAL DATA SOURCES:  
 -CAPE MAY COUNTY GEOGRAPHIC INFORMATION SYSTEM  
 -NEW JERSEY DEPARTMENT OF COMMUNITY AFFAIRS, OFFICE OF  
 SMART GROWTH  
 -NEW JERSEY DEPARTMENT OF ENVIRONMENTAL PROTECTION,  
 BUREAU OF GEOGRAPHIC INFORMATION  
 -UNITED STATES DEPARTMENT OF AGRICULTURE, NATURAL  
 RESOURCES CONSERVATION SERVICE  
 -NEW JERSEY OFFICE OF INFORMATION TECHNOLOGY, OFFICE OF GIS



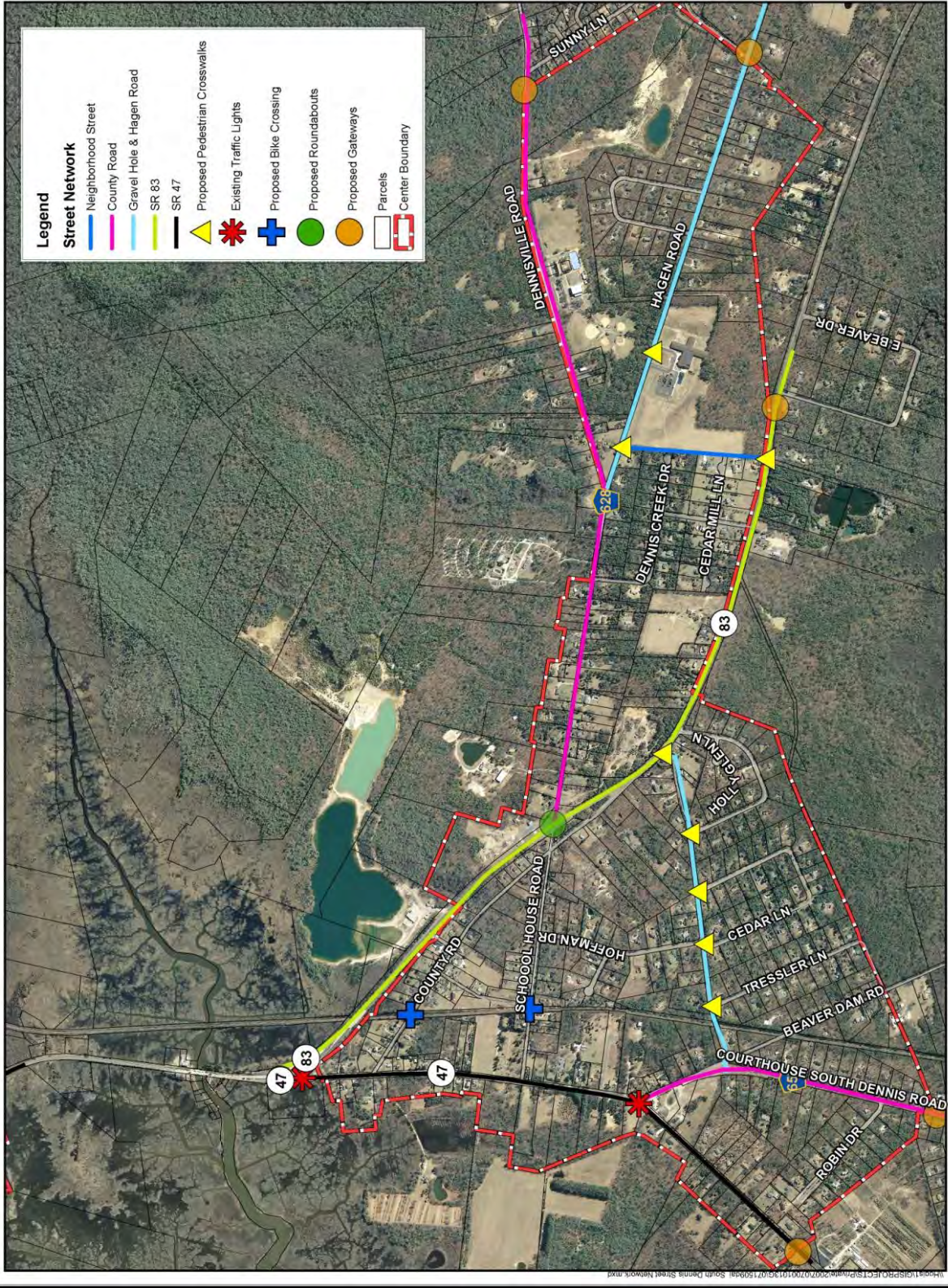
OCTOBER 2009



## Legend

- Street Network
- Alley
- Neighborhood Street
- Mixed-Use Street
- Boulevard
- Connector
- Main Street
- Route 9
- CR 610
- Route 47
- Proposed Pedestrian Crosswalk
- Existing Traffic Light
- Proposed Gateways
- Parcels
- Center Boundary





**Legend**

**Street Network**

- Neighborhood Street
- County Road
- Gravel Hole & Hagen Road
- SR 83
- SR 47

Proposed Pedestrian Crosswalks

Existing Traffic Lights

Proposed Bike Crossing

Proposed Roundabouts

Proposed Gateways

Parcels

Center Boundary

# SOUTH DENNIS STREET REGULATING PLAN

TOWNSHIP OF DENNIS

CAPE MAY COUNTY NEW JERSEY



DIGITAL SPATIAL DATA SOURCES:

- CAPE MAY COUNTY GEODESIC INFORMATION SYSTEM
- NEW JERSEY DEPARTMENT OF COMMUNITY AFFAIRS OFFICE OF SMART GROWTH
- NEW JERSEY DEPARTMENT OF ENVIRONMENTAL PROTECTION BUREAU OF GEODESIC INFORMATION
- UNITED STATES DEPARTMENT OF AGRICULTURE NATURAL RESOURCES CONSERVATION SERVICE
- NEW JERSEY OFFICE OF INFORMATION TECHNOLOGY OFFICE OF GIS



OCTOBER 2009



# SOUTH SEAVILLE STREET REGULATING PLAN

TOWNSHIP OF DENNIS

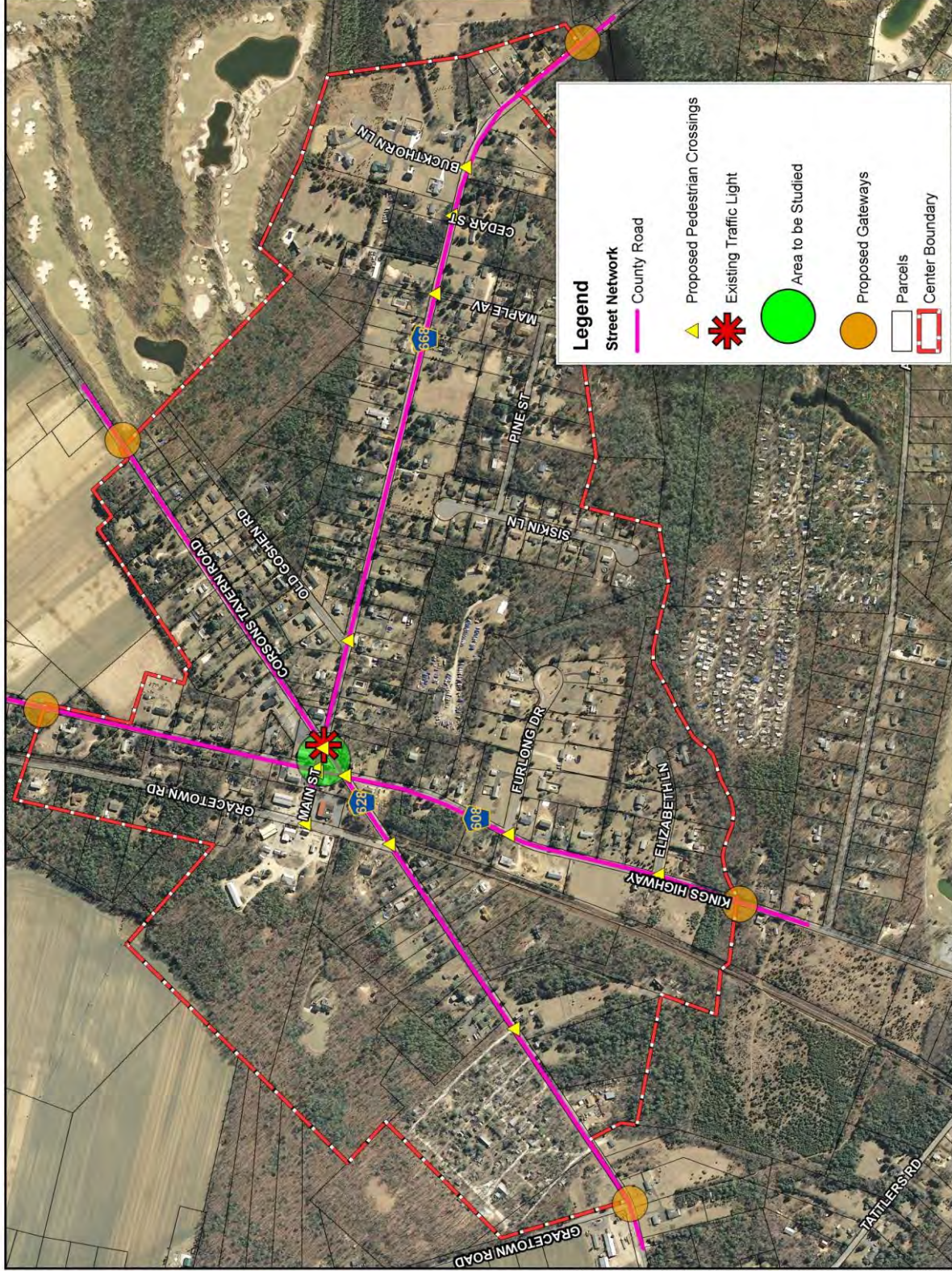
CAPE MAY COUNTY  
NEW JERSEY



DIGITAL SPATIAL DATA SOURCES:  
 -CAPE MAY COUNTY GEOGRAPHIC INFORMATION SYSTEM  
 -NEW JERSEY DEPARTMENT OF COMMUNITY AFFAIRS, OFFICE OF  
 PLANNING AND DEVELOPMENT  
 -NEW JERSEY DEPARTMENT OF ENVIRONMENTAL PROTECTION,  
 DIVISION OF LAND USE PLANNING  
 -UNITED STATES DEPARTMENT OF AGRICULTURE, NATURAL  
 RESOURCES CONSERVATION SERVICE  
 -NEW JERSEY OFFICE OF INFORMATION TECHNOLOGY, OFFICE OF GIS



OCTOBER 2009



**Legend**

**Street Network**

County Road

Proposed Pedestrian Crossings

Existing Traffic Light

Area to be Studied

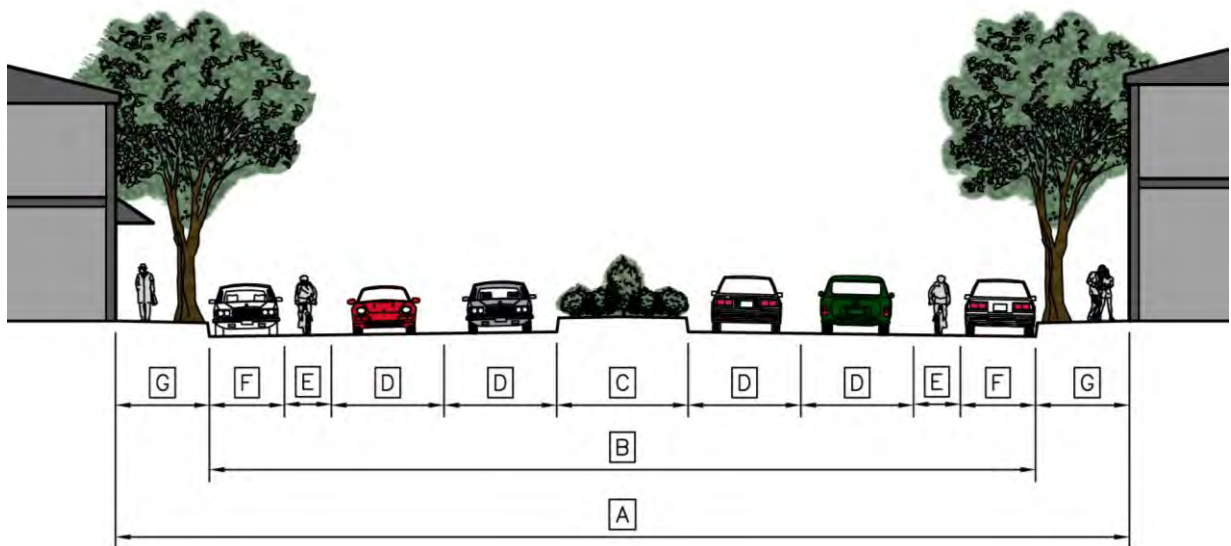
Proposed Gateways

Parcels

Center Boundary



## SR 9



Street Design		
Design Speed	30-35 mph	
Right-of-Way	102'	<b>A</b>
Cartway Width	84'	<b>B</b>
Median/Left Turn Lane	14'	<b>C</b>
Travel Lanes	11'	<b>D</b>
Bike Lanes	5'	<b>E</b>
Parking Lanes	8'	<b>F</b>
Planting Strip	None	
Sidewalk	9'	<b>G</b>

Landscape Standards <sup>1</sup>	
Trees	Every 40' in planting bed
Plants	-
Street Lighting	Required
Street Furniture Standards <sup>2</sup>	
Benches	1 per 100 linear feet
Trash Receptacles	1 per 200 linear feet
Bike Racks	1 per 200 linear feet
Planters	Encouraged
News Stands	Encouraged
Public Art	Encouraged
Sidewalk Cafes/Dining*	Encouraged
Sidewalk Displays	Encouraged

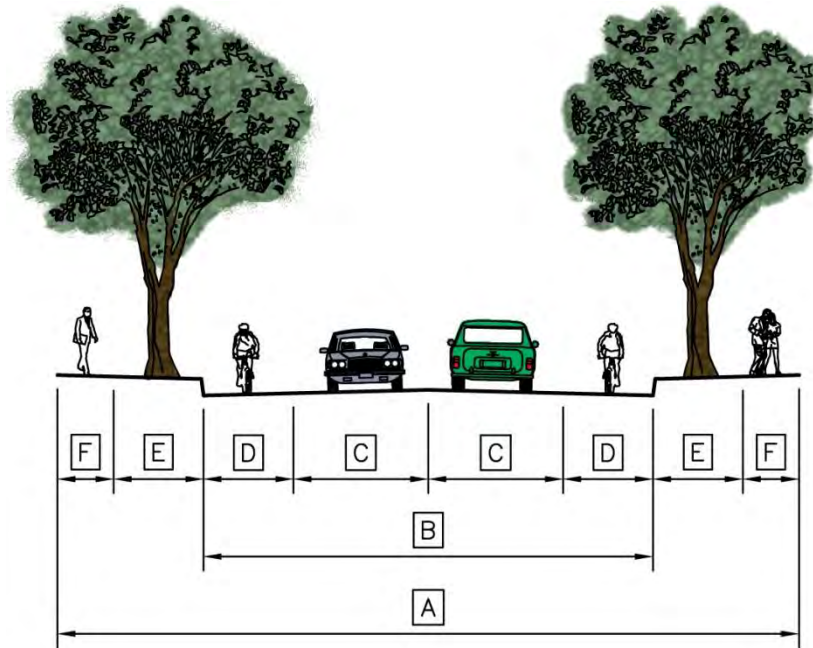
### Notes

<sup>1</sup>See Chapter 5, Landscape Standards for details.

<sup>2</sup>See Chapter 5, Street Furniture for details.

\* Must maintain minimum 5' clearance for circulation.

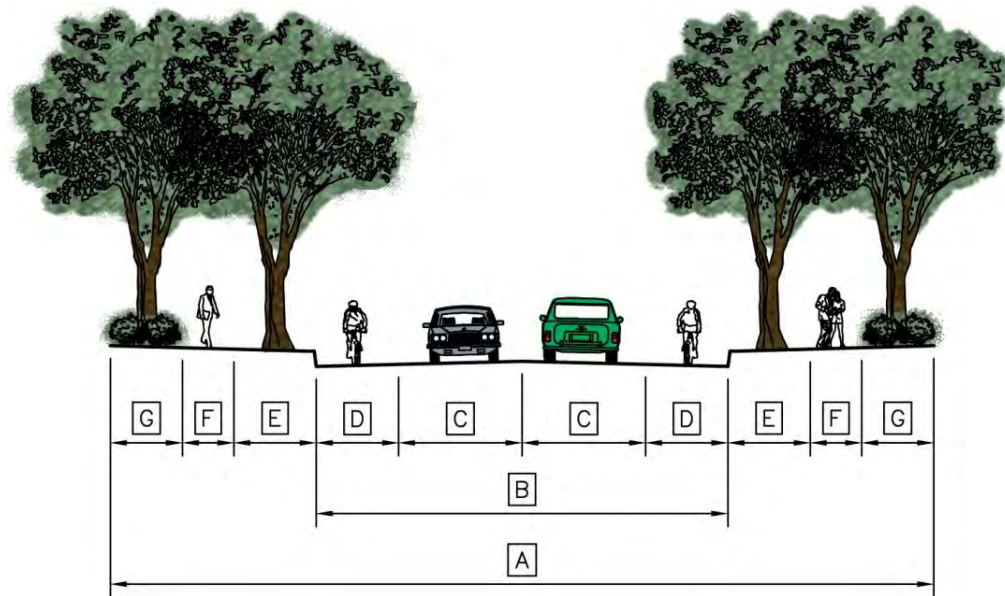
## SR 47



Street Design		
Design Speed	30-35 mph	
Right-of-Way*	66'	<b>A</b>
Cartway Width	40'	<b>B</b>
Median	-	
Travel Lanes	12'	<b>C</b>
Shared Shoulder/Bike Lanes	8'	<b>D</b>
Parking Lanes	-	
Planting Strip	8'	<b>E</b>
Sidewalk	5'	<b>F</b>
Notes		
* Note that this roadway may expand at key intersections to accommodate left-turn lanes.		

Landscape Standards <sup>1</sup>	
Trees	Every 40' in planting strip
Plants	-
Street Lighting	Required
Street Furniture Standards <sup>2</sup>	
Benches	-
Trash Receptacles	-
Bike Racks	-
Planters	-
News Stands	-
Public Art	-
Sidewalk Cafes/Dining	-
Sidewalk Displays	-
Notes	
<sup>1</sup> See Chapter 5, Landscape Standards for details.	
<sup>2</sup> See Chapter 5, Street Furniture for details.	

## SR 83



Street Design		
Design Speed	30-35 mph	
Right-of-Way*	80'	<b>A</b>
Cartway Width	40'	<b>B</b>
Median	-	
Travel Lanes	12'	<b>C</b>
Shared Shoulder/Bike Lanes	8'	<b>D</b>
Parking Lanes	-	
Planting Strip	8'	<b>E</b>
Sidewalk	5'	<b>F</b>
Landscape Area	7'	<b>G</b>

### Notes

\*Right-of-way varies in width. Right-of-way may expand at intersections to accommodate left-turn lanes.

Landscape Standards <sup>1</sup>	
Trees	Every 40' in planting strip
Plants	Low maintenance mixture
Street Lighting	Required

Street Furniture Standards <sup>2</sup>	
Benches	-
Trash Receptacles	-
Bike Racks	-
Planters	-
News Stands	-
Public Art	-
Sidewalk Cafes/Dining	-
Sidewalk Displays	-

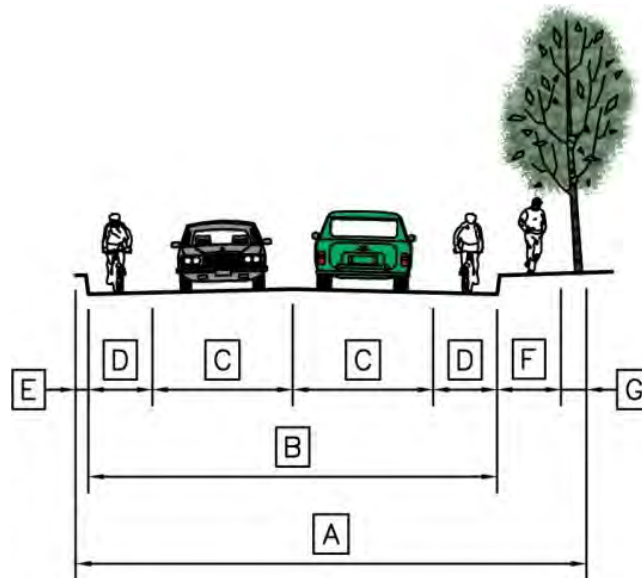
### Notes

<sup>1</sup>See Chapter 5, Landscape Standards for details.

<sup>2</sup>See Chapter 5, Street Furniture for details.



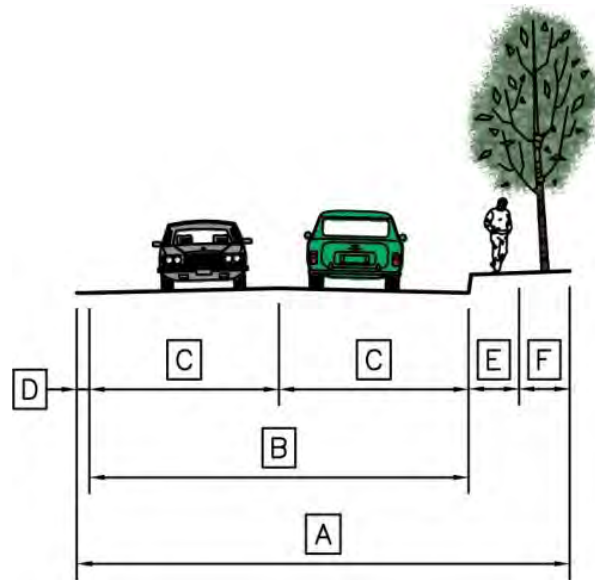
*COUNTY ROADS: MAIN STREET (CR 668), KINGS HIGHWAY (CR 608),  
CORSONS TAVERN ROAD (CR 628)*



Street Design		
Design Speed	30-35 mph	
Right-of-Way	40'	<b>A</b>
Cartway Width	32'	<b>B</b>
Median	None	
Travel Lanes	11'	<b>C</b>
Shared Shoulder/Bike Lanes	5'	<b>D</b>
Parking Lanes	None	
Curb	+/- 1'	<b>E</b>
Sidewalk	5'	<b>F</b>
Planting Strip*	2'	<b>G</b>
Notes		
* Will require a 2' construction easement. Trees to be planted in construction easement at right-of-way line.		

Landscape Standards <sup>1</sup>	
Trees	Every 40' in easement
Plants	-
Street Lighting	Required
Street Furniture Standards <sup>2</sup>	
Benches	-
Trash Receptacles	-
Bike Racks	-
Planters	-
News Stands	-
Public Art	-
Sidewalk Cafes/Dining	-
Sidewalk Displays	-
Notes	
<sup>1</sup> See Chapter 5, Landscape Standards for details.	
<sup>2</sup> See Chapter 5, Street Furniture for details.	

## DENNISVILLE PETERSBURG ROAD (CR 610)



Street Design		
Design Speed	30-35 mph	
Right-of-Way*	33'	<b>A</b>
Cartway Width	30'	<b>B</b>
Median	None	
Shared Travel/Bike Lanes	15'	<b>C</b>
Bike Lanes	-	
Parking Lanes	None	
Planting Strip	+/- 1'	<b>D</b>
Sidewalk**	4'	<b>E</b>
Planting Strip***	4'	<b>F</b>

### Notes

\*Right-of-way is 33', but proposed street dimension requires easements.

\*\* Sidewalk will require a 2' easement.

\*\*\*Planting Strip will require a 4' construction easement. Trees to be planted in construction easement 2' from right-of-way line.

Landscape Standards <sup>1</sup>	
Trees	Every 40' in easement
Plants	-
Street Lighting	Every 30'

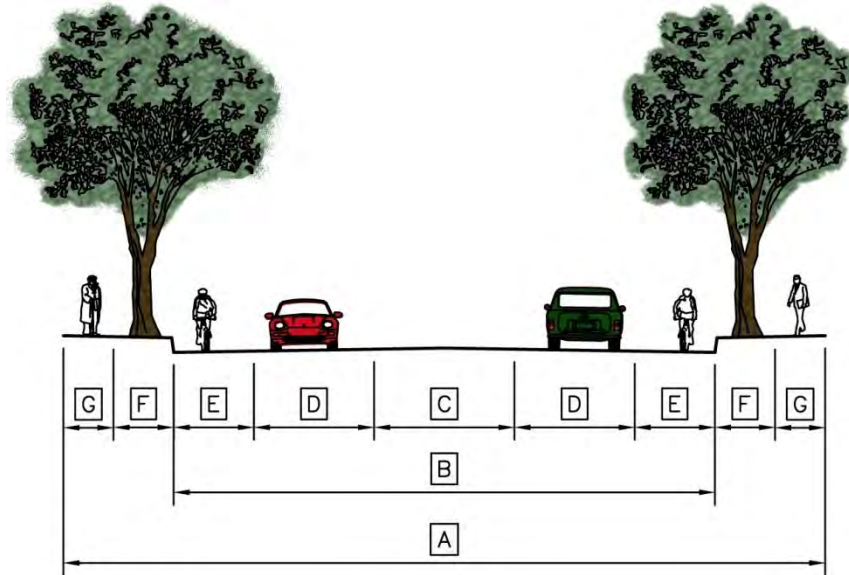
Street Furniture Standards <sup>2</sup>	
Benches	-
Trash Receptacles	-
Bike Racks	-
Planters	-
News Stands	-
Public Art	-
Sidewalk Cafes/Dining	-
Sidewalk Displays	-

### Notes

<sup>1</sup>See Chapter 5, Landscape Standards for details.

<sup>2</sup>See Chapter 5, Street Furniture for details.

## SEA ISLE BOULEVARD (CR 625)

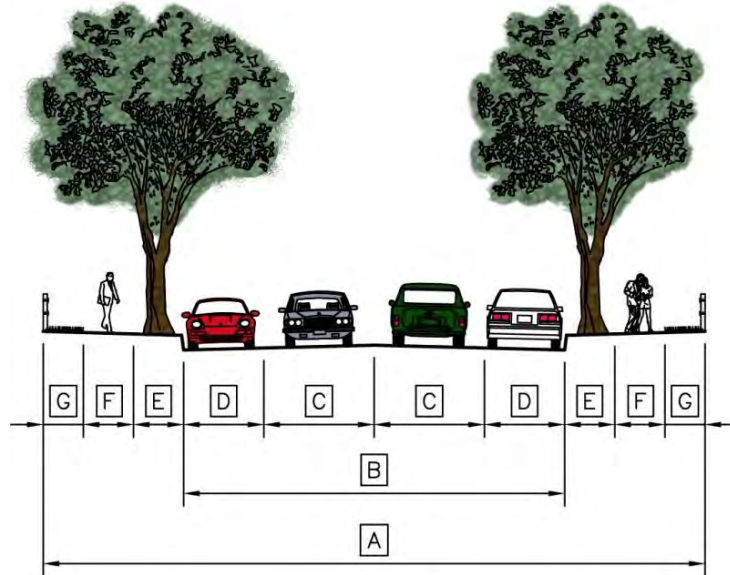


Street Design		
Design Speed	30-35 mph	
Right-of-Way*	76'	<b>A</b>
Cartway Width	54'	<b>B</b>
Median/Left Turn Lane	14'	<b>C</b>
Travel Lanes	12'	<b>D</b>
Shared Shoulder/Bike Lanes	8'	<b>E</b>
Parking Lanes	-	
Planting Strip	6'	<b>F</b>
Sidewalk	5'	<b>G</b>
<b>Notes</b>		
* Note that right-of-way reduces to 66' at Parkway, median would be reduced to 12', sidewalks reduced to 4' and planting strips reduced to 3'.		

Landscape Standards <sup>1</sup>	
Trees	Every 40' in planting strip
Plants	-
Street Lighting	Required
Street Furniture Standards <sup>2</sup>	
Benches	-
Trash Receptacles	-
Bike Racks	-
Planters	-
News Stands	-
Public Art	-
Sidewalk Cafes/Dining	-
Sidewalk Displays	-
<b>Notes</b>	
<sup>1</sup> See Chapter 5, Landscape Standards for details.	
<sup>2</sup> See Chapter 5, Street Furniture for details.	



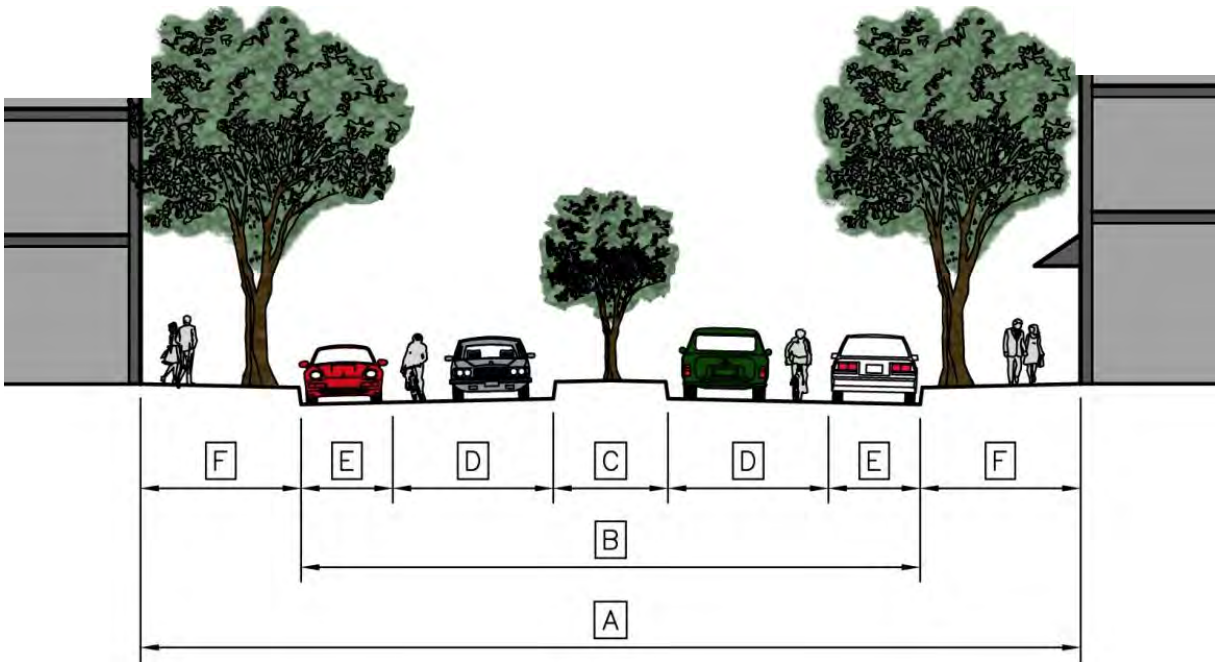
## MAIN STREET – DENNISVILLE



Street Design		
Design Speed	20-30 mph	
Right-of-Way	66'	<b>A</b>
Cartway Width	38'	<b>B</b>
Median	-	
Travel Lanes	11'	<b>C</b>
Bike Lanes	-	
Parking Lanes	8'	<b>D</b>
Planting Strip	5'	<b>E</b>
Sidewalk	5'	<b>F</b>
Landscape Area	4'	<b>G</b>

Landscape Standards <sup>1</sup>	
Trees	Every 40' in planting strip
Plants	-
Street Lighting	Required
Street Furniture Standards <sup>2</sup>	
Benches	Encouraged
Trash Receptacles	Encouraged
Bike Racks	-
Planters	Encouraged
News Stands	-
Public Art	-
Sidewalk Cafes/Dining	-
Sidewalk Displays	-
Notes	
<sup>1</sup> See Chapter 5, Landscape Standards for details.	
<sup>2</sup> See Chapter 5, Street Furniture for details.	

## BOULEVARD



Street Design		
Design Speed	25-30 mph	
Right-of-Way	82'	<b>A</b>
Cartway Width	54'	<b>B</b>
Median	10'	<b>C</b>
Shared Travel/Bike Lanes	14'	<b>D</b>
Parking Lanes	8'	<b>E</b>
Sidewalk	14'	<b>F</b>

Landscape Standards <sup>1</sup>	
Trees	Every 40' in grates
Plants	Low maintenance mixture
Street Lighting	Required
Street Furniture Standards <sup>2</sup>	
Benches	1 per 100 linear feet
Trash Receptacles	1 per 200 linear feet
Bike Racks	1 per 200 linear feet
Planters	Encouraged
News Stands	Encouraged
Public Art	Encouraged
Sidewalk Cafes/Dining*	Encouraged
Sidewalk Displays	Encouraged

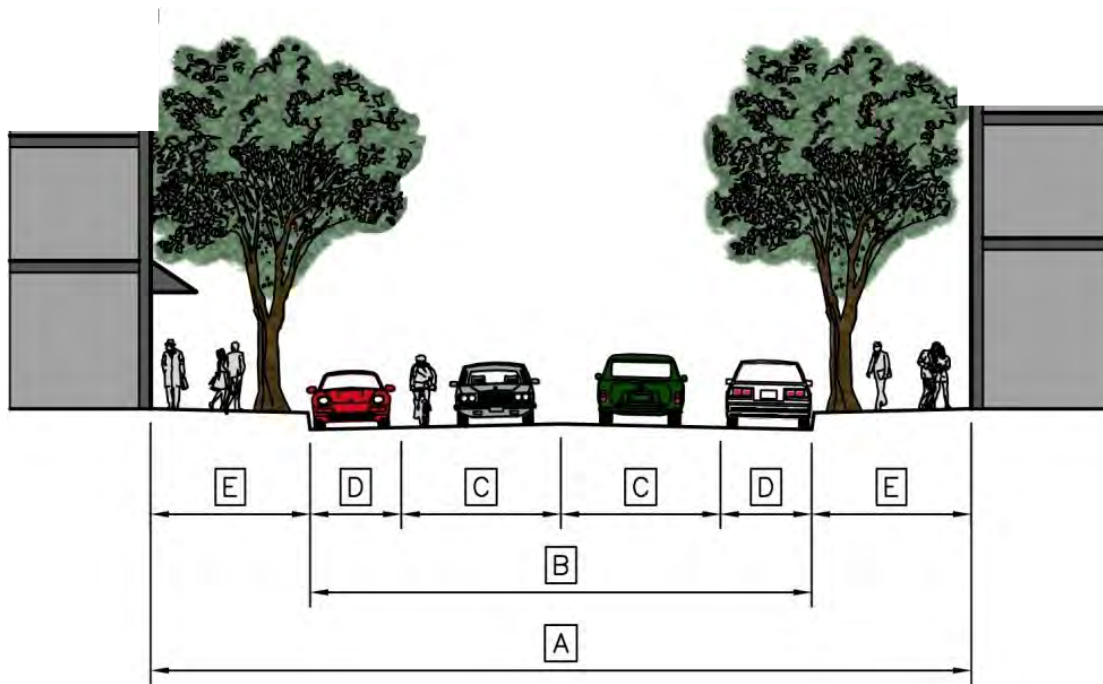
### Notes

<sup>1</sup>See Chapter 5, Landscape Standards for details.

<sup>2</sup>See Chapter 5, Street Furniture for details.

\* Must maintain minimum 5' clearance for circulation.

## TOWN CENTER STREET



Street Design		
Design Speed	25-30 mph	
Right-of-Way	72'	<b>A</b>
Cartway Width	44'	<b>B</b>
Median	None	
Shared Travel/Bike Lanes	14'	<b>C</b>
Parking Lanes	8'	<b>D</b>
Planting Strip	None	
Sidewalk	14'	<b>E</b>

Landscape Standards <sup>1</sup>	
Trees	Every 40' in grate
Plants	-
Street Lighting	Required
Street Furniture Standards <sup>2</sup>	
Benches	1 per 100 linear feet
Trash Receptacles	1 per 200 linear feet
Bike Racks	1 per 200 linear feet
Planters	Encouraged
News Stands	Encouraged
Public Art	Encouraged
Sidewalk Cafes/Dining*	Encouraged
Sidewalk Displays	Encouraged

### Notes

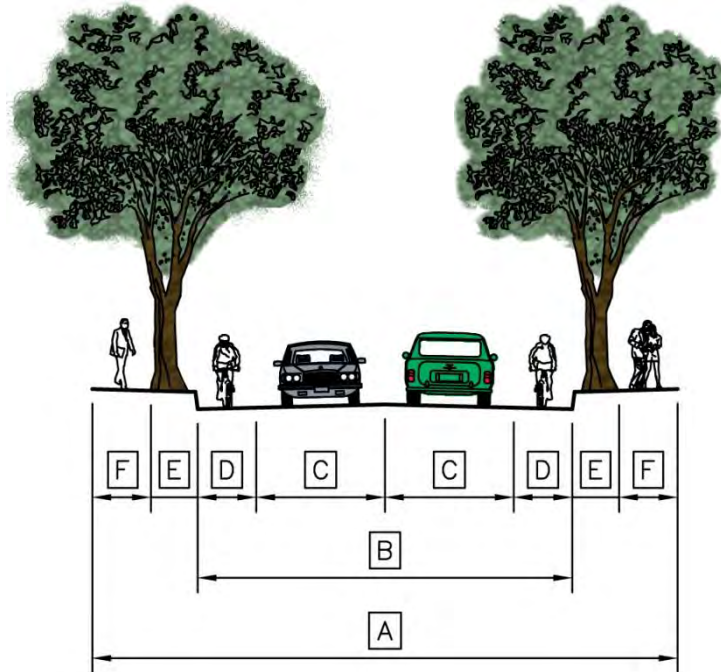
<sup>1</sup>See Chapter 5, Landscape Standards for details.

<sup>2</sup>See Chapter 5, Street Furniture for details.

\* Must maintain minimum 5' clearance for circulation.



## HAGEN ROAD & GRAVEL HOLE ROAD



Street Design		
Design Speed	25-35 mph	
Right-of-Way*	50'	<b>A</b>
Cartway Width	32'	<b>B</b>
Median	-	
Travel Lanes	11'	<b>C</b>
Bike Lanes	5'	<b>D</b>
Parking Lanes	-	
Planting Strip	4'	<b>E</b>
Sidewalk	5'	<b>F</b>

### Notes

\* Note that Gravel Hole's right-of-way is 54'; therefore the planting strip would be 6' wide instead of 4' wide. Additionally, Gravel Hole's right-of-way shrinks at its eastern end.

Landscape Standards <sup>1</sup>	
Trees	Every 40' in planting strip
Plants	-
Street Lighting	Required

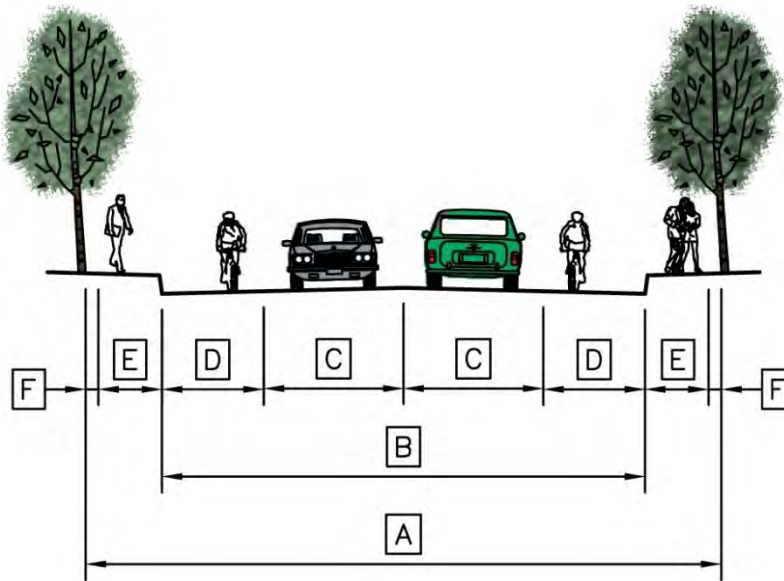
Street Furniture Standards <sup>2</sup>	
Benches	-
Trash Receptacles	-
Bike Racks	-
Planters	-
News Stands	-
Public Art	-
Sidewalk Cafes/Dining	-
Sidewalk Displays	-

### Notes

<sup>1</sup>See Chapter 5, Landscape Standards for details.

<sup>2</sup>See Chapter 5, Street Furniture for details.

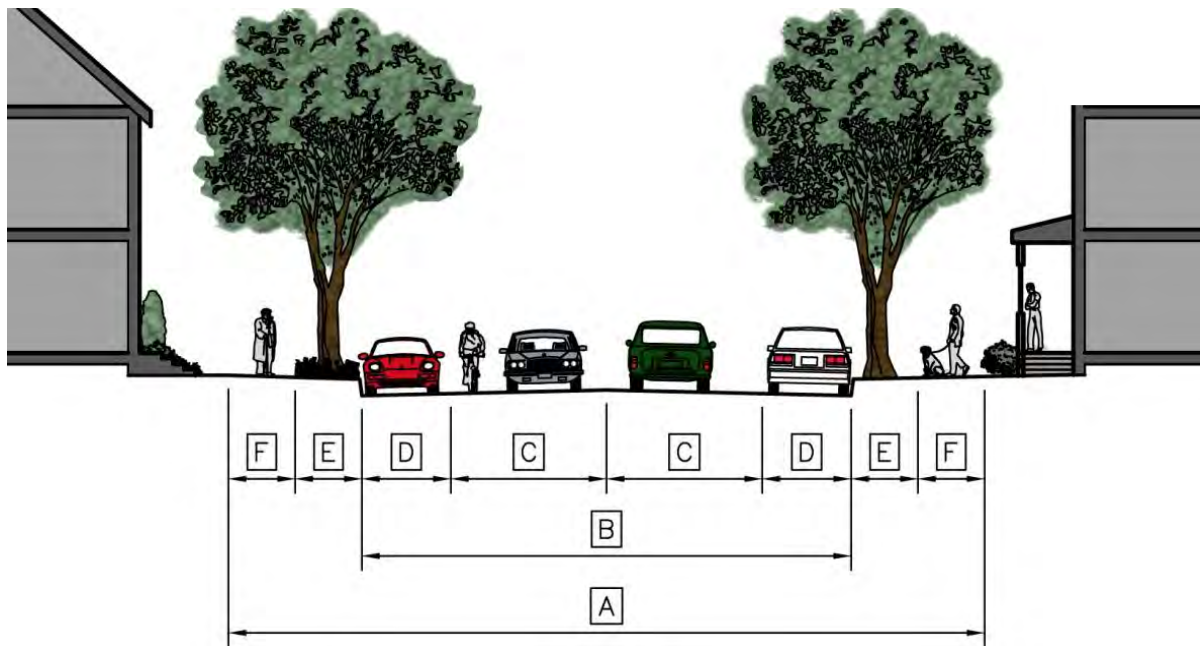
## WOODBINE BOULEVARD (CR 550) & COURTHOUSE DENNISVILLE ROAD (CR 657)



Street Design		
Design Speed	25-35 mph	
Right-of-Way*	50'	<b>A</b>
Cartway Width	38'	<b>B</b>
Median	-	
Travel Lanes	11'	<b>C</b>
Shared Shoulder/Bike Lanes	8'	<b>D</b>
Parking Lanes	-	
Sidewalk	5'	<b>E</b>
Planting Strip*	1'	<b>F</b>
Notes		
*Right-of-way is 50', but proposed street dimension requires easements.		
** Planting Strip will require a 3' construction easement. Trees to be planted 1' from right-of-way line.		

Landscape Standards <sup>1</sup>	
Trees	Every 40' in easement
Plants	-
Street Lighting	Required
Street Furniture Standards <sup>2</sup>	
Benches	-
Trash Receptacles	-
Bike Racks	-
Planters	-
News Stands	-
Public Art	-
Sidewalk Cafes/Dining	-
Sidewalk Displays	-
Notes	
<sup>1</sup> See Chapter 5, Landscape Standards for details.	
<sup>2</sup> See Chapter 5, Street Furniture for details.	

## RESIDENTIAL STREET

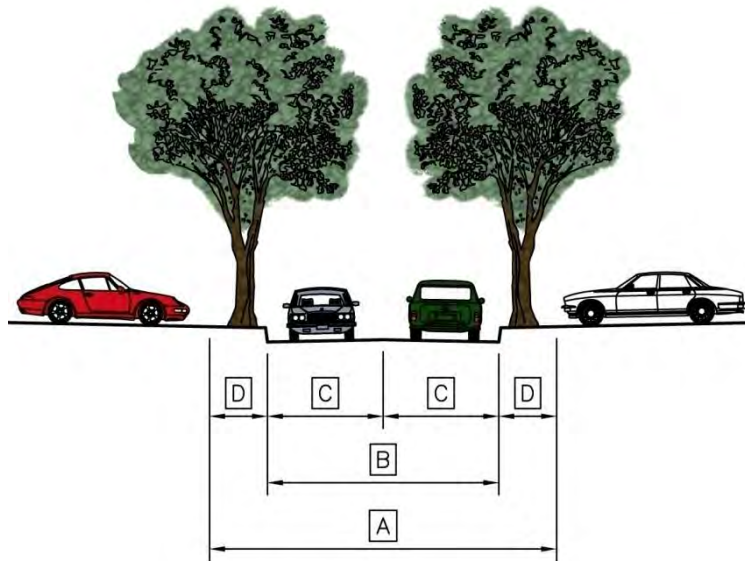


Street Design		
Design Speed	25-30 mph	
Right-of-Way	66'	<b>A</b>
Cartway Width	44'	<b>B</b>
Median	-	
Shared Travel/Bike Lanes	14'	<b>C</b>
Parking Lanes	8'	<b>D</b>
Planting Strip	6'	<b>E</b>
Sidewalk	5'	<b>F</b>

Landscape Standards <sup>1</sup>	
Trees	Every 40' in planting strip
Plants	Low maintenance mixture
Street Lighting	Required
Street Furniture Standards <sup>2</sup>	
Benches	-
Trash Receptacles	-
Bike Racks	-
Planters	-
News Stands	-
Public Art	-
Sidewalk Cafes/Dining	Not Permitted
Sidewalk Displays	Not Permitted
Notes	
<sup>1</sup> See Chapter 5, Landscape Standards for details.	
<sup>2</sup> See Chapter 5, Street Furniture for details.	



## MIXED-USE ALLEY



Street Design		
Design Speed	20 mph	
Right-of-Way	36'	<b>A</b>
Cartway Width	24'	<b>B</b>
Travel Lanes	12'	<b>C</b>
Planting Strip	6'	<b>D</b>

Landscape Standards <sup>1</sup>	
Trees	Every 40' in planting strip
Plants	Low maintenance mixture*
Street Lighting	Required

Street Furniture Standards <sup>2</sup>	
Benches	-
Trash Receptacles	-
Bike Racks	-
Planters	-
News Stands	-
Public Art	-
Sidewalk Cafes/Dining	-
Sidewalk Displays	-

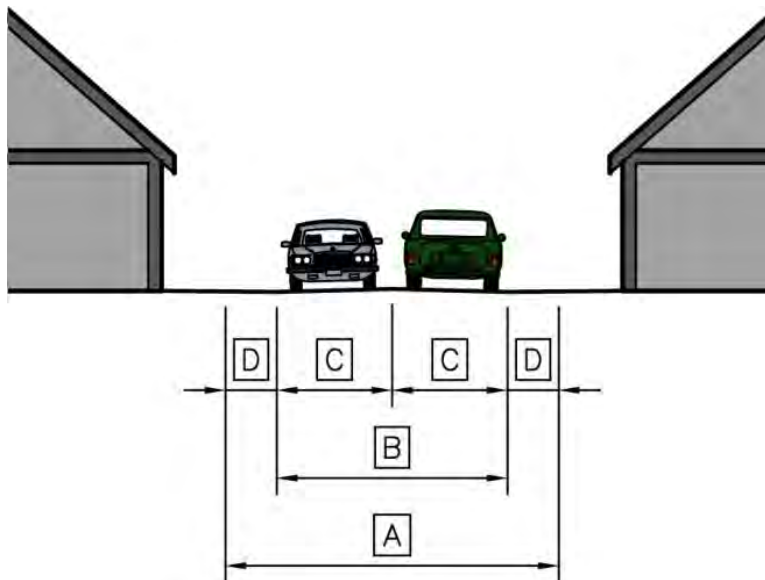
### Notes

<sup>1</sup>See Chapter 5, Landscape Standards for details.

<sup>2</sup>See Chapter 5, Street Furniture for details.

\*Shall provide shrubs for screening of parking, no higher than 4.5'.

*RESIDENTIAL ALLEY*



Street Design		
Design Speed	20 mph	
Right-of-Way	28'	<b>A</b>
Cartway Width	20'	<b>B</b>
Travel Lanes	10'	<b>C</b>
Apron	4'	<b>D</b>

## OTHER STREETS

There are a number of other existing streets within the five study areas. These remaining streets have very little potential for change and will most likely only see limited infill development over time. Therefore, general characteristics have been laid out for these streets should grant money become available for the installation of bikeway, planting strips or sidewalks in the future. There are required components and encouraged components should enough right-of-way exists these are strongly recommended.

STANDARDS FOR OTHER STREETS WITHIN THE CENTERS				
	Non-residential Area		Residential Area	
Travel Lane	12'	Required	10' to 12'	Required
Shared Shoulder	8'	Encouraged	-	Not Recommended
On-Street Parking	Min. 8'	Encouraged	Min. 8'	Encouraged
Bikeway	Min. 5'	Encouraged	Min. 5'	Not Recommended
Planting Strip	Min. 3'	Encouraged	Min. 3'	Encouraged
Sidewalk	Min. 4'	Encouraged	Min. 4'	Encouraged

## LANDSCAPE STANDARDS

Street trees are an essential element of a streetscape; they provide shade to pedestrians in the summer months, improve air quality and provide natural beauty in a developed environment. Each street typology states whether trees are planted in a tree grate or planting strip. The following planting standards apply:

- **All trees shall be planted at least 2.5' from the curb face**
- Trees to be planted in planting beds shall be planted in a bed measuring a minimum of 4' x 8'
  - Trees shall be supplemented by native, low-maintenance plants
- **Trees to be planted in grates shall be planted in a grate measuring a minimum of 5' by 5'**
- Trees to be planted in grates shall be planted in structural soil. Structural soil material is designed as follows. The three components of the structural soil are mixed in the following properties by weight: crushed stone: 100; clay loam: 20; hydrogel: 0.03. Total moisture at mixing should be 10% (AASHTO T-99 optimum moisture).
- Trees shall be planted at a minimum size of 2.5 to 3 inch caliper, bound and burlapped.

## TREES

The following is a list of acceptable street trees for within the Town Center and Villages:

Acer campestre

Hedge Maple

Acer rubrum "Armstrong"

"Armstrong" Columnar Red Maple

Acer rubrum October Glory

October Glory Red Maple

Acer saccharum Bonfire

Bonfire Sugar Maple



Acer saccharum Goldspire	Goldspire Sugar Maple
Acer saccharum Green Mountain	Green Mountain Sugar Maple
Fraxinus americana Autumn Purple	Autumn Purple White Ash
Fraxinus americana Greenspire	Greenspire White Ash
<b>Fraxinus pennsylvanica "Patmore"</b>	<b>"Patmore" Green Ash</b>
Nyssa sylvatica	Black Gum or Sour Gum
<b>Platanus acerifolia "Bloodgood"*</b>	<b>"Bloodgood" London Planetree</b>
Platanus occidentalis*	Sycamore
Quercus bicolor*	Swamp White Oak
Quercus imbricaria	Shingle Oak
Quercus palustris*	Pin Oak
Quercus phellos*	Willow Oak
Taxodium distichum	Baldcypress
<b>Tilia americana "Redmond"</b>	<b>"Redmond" Linden</b>
Tilia cordata Greenspire	Greenspire Littleleaf Linden
Tilia tomentosa Green Mountain	Green Mountain Silver Linden
<b>Ulmus americana "Princeton"</b>	<b>"Princeton" Elm</b>
<b>Zelkova serrata "Halka"</b>	<b>"Halka" Zelkova</b>
<b>Zelkova Serrata "Village Green"</b>	<b>"Village Green" Zelkova</b>

\*Indicates street trees suitable for high wind and salt spray conditions.

Note that there are fall digging hazards for Quercus (Oak) species. Specific conditions, such as soil type, exposure, salt spray and other factors must be considered in the species selection process. A New Jersey certified arborist or landscape architect should be consulted in plant selection.

Recommended understory trees for landscaped areas within the Town Center and Villages include:

Amelanchier Canadensis	Shadtree
Betula nigra	River Birch
Carpinus caroliniana	American Hornbeam
Cercis canadensis	Eastern Redbud
Chiananthus virginicus	White Fringetree
Franklinia alatamaha	Franklinia
Halsia diptera Magniflora	Two-Winged Silverbell

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Hamamelis virginiana	Common Witchhazel
Magnolia virginiana	Sweetbay Magnolia
Ostrya virginiana	Hophornbeam
Oxydendrum arboreum	Sourwood
Sassafras albidum	Sassafras

Recommended evergreen trees for landscaped areas within the Town Center and Villages include:

<b>Cryptomeria japonica 'Yoshnio'</b>	Yoshino Japanese Cedar
Ilex opaca	American Holly
<b>Juniperus scopulorum 'Cologreen'</b>	Cologreen Juniper
<b>Juniperus virginiana 'Cupressifolia'</b>	Hillspire Juniper
<b>Picea glauca 'Densata'</b>	Black Hills Spruce
Pinus resinosa	Red Pine
Pinus strobus	White Pine
Pseudotsuga menziesii	Douglas Fir

The following is a list of acceptable shrubs for landscaped areas within the Town Center and Villages:

<b>Clethra alnifolia "Hummingbird"</b>	<b>"Hummingbird" Summersweet</b>
Cornus paniculata	Gray Dogwood
Cornus sericea	Red Osier Dogwood
Ilex glabra	Inkberry
<b>Juniperus conferta "Blue Pacific"</b>	<b>"Blue Pacific" Japanese Shore Juniper</b>
Juniperus sargentii	Sargent Juniper
Kalmia latifolia	Mountain Laurel
Myrica pennsylvanica	Northern Bayberry
Rhododendron maximum	Rosebay Rhododendron
Rosa rugosa	Japanese Shore Rose
Vaccinium corymbosum	Highbush Blueberry
Viburnum acerifolium	Maple-leaved Viburnum
Viburnum dentatum	Arrowwood Viburnum

## STREET LIGHTING

The purpose of street lighting is to provide safe movement through the Town Center and Villages both on **foot and in the automobile**. **Lighting is essential to one's** feeling of security. Adequate street lighting will encourage night-time activity while creating a safe and positive image of Ocean View, Clermont, Dennisville, South Dennis and South Seaville after dark that can extend the hours of economic activity.

Street lighting should be pedestrian-scaled, no more than 15 feet in height. Street lighting fixtures should be full cut off. Lighting should provide a maintained average in the TCC, TC and CVC Zones of 0.5 foot-candles over the sidewalks and a maintained average of 1.0 foot-candles over the street. In the TCR and CVR Zone street lighting should provide a maintained average of 0.3 foot-candles and 1.0 foot-candles at every intersection. To the right is an example of a pedestrian-scaled street light. The use of bollard lights in pedestrian areas is encouraged in appropriate locations.

Parking lot lighting should be no more than 24 feet in height. Parking lot lighting fixtures should be full cut off. It should provide a maintained average of 0.5 foot-candles.

In addition to street lamps and parking lot lighting, lighting on buildings is encouraged. This may be in the form of lighting above signage, lighting flanking building entrances or accent lighting for architectural features.



## STREET FURNITURE

Street furniture can provide visual unity and should be coordinated with street trees and lights where possible along the street frontage and also in public plazas where appropriate. These types of furnishings can allow for creativity and branding of a municipality. Dennis Township should select a palette of street furniture that should be used on the streetscape to create a unified appearance.

### Benches

Benches encourage social interaction and add eyes on the street, making it a safer place. It is preferable to locate benches close to street trees so that they will benefit from summertime shading.



Photo rated 3.3 (1.6) in Community Vision Survey



## **Trash Receptacles**

Trash receptacles are important in keeping the sidewalks clean. They can also encourage recycling and reuse.

## **Bike Racks**

The installation of bike racks encourages an alternative transportation mode. Bike racks provide a safe and appropriate location for bicycle storage and prevent the destruction that occurs when bikes are chained to street lamps and trees.



Photo rated 3.7 (1.6) in Community Vision Survey

## **Newspaper Stands**

Newspaper stands should be grouped to decrease cluttering of the sidewalk. Newspaper stand enclosures should be used in accord with selected Township standards.

## **Planters**

Planters provide the opportunity for smaller scaled vegetation along the sidewalk. They are highly recommended to be used to define shop entrances, enclose outdoor dining areas and embellish the spaces between street trees.



Photo rated 3.1 (2.4) in Community Vision Survey

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## CHAPTER 6 | OPEN SPACE & PARK STANDARDS

This chapter of the Form-Based Code establishes the Open Space and Park Standards for potential park areas within the Town Center and Villages. There are a total of three open space and park typologies. The provision of open space or recreation areas is triggered by the size of the tract. Note that only the TCC, TC and CVC Zones have open space and recreation requirements.

TCC, TC & CVC Zone Recreation Standards	
Mixed-use Development	Size & Type of Facility
3.0 - 4.9 acre tract	Pocket Plaza
5.0 - 9.9 acre tract	Town Center Plaza
10.0 + acre tract	Community Park

The following pages contain the standards associated with each open space and park typology.

## COMMUNITY PARK

Community Parks serve the entire Township and provide active and/or passive recreation space for all age groups while simultaneously preserving open space. Play equipment, walking trails and civic structures, such as a gazebo or amphitheater should be included where appropriate. Landscaping should consist of trees, grass, shrubs and native plants. Benches should be provided along pathways and picnic areas should be placed in designated areas.



Photo rated 3.2 (1.8) in Community Vision Survey

Spatial Standards	
Minimum Area	6% of lot area
Minimum Width	150'
Minimum Length	150'
Landscape Standards	
Trees	Required <sup>1</sup>
Plants	Low maintenance mixture <sup>2</sup>
Pedestrian-Scaled Lighting	Required <sup>3</sup>
Notes	
<sup>1</sup> For every acre, 25 shade, 15 ornamental and 5 evergreen trees shall be provided.	
<sup>2</sup> For every acre, 150 shrubs are required.	
<sup>3</sup> 1 per 100 linear feet of pathway.	

Amenity Standards	
Benches	Required <sup>1</sup>
Trash Receptacles	Required
Bike Racks	Encouraged
Playground Equipment	Required <sup>2</sup>
Planters	-
News Stands	-
Public Art	Encouraged
Sidewalk Cafes/Dining	-
Retail Displays/Kiosks	-
Gazebo/Bandstand/Etc.	Encouraged
Notes	
<sup>1</sup> 1 bench per 100 linear feet of pathway.	
<sup>2</sup> Shall be equipped with a minimum of swings, sliding board, jungle gym or the like.	



## TOWN CENTER PLAZA

Town Center Plazas add vitality to streets and create open spaces for civic purposes and commercial activity. They provide a gathering place for the community and should be located either at the intersection of important streets or between nodes of activity. Town Center Plazas are primarily a hardscape surface with trees and plantings, defined by buildings and streets that typically contain benches, outdoor dining areas and water features.



Photo rated 3.0 (1.7) in Community Vision Survey

Spatial Standards	
Minimum Area	3.5% of lot area
Minimum Width	75'
Minimum Length	100'
Landscape Standards	
Trees*	1 per 1,500 sf of plaza <sup>1</sup>
Planting Bed*	150 sf per 1,000 sf of plaza
Pedestrian-Scaled Lighting	Required <sup>2</sup>
Notes	
<sup>1</sup> In either grates (min. 5' x 5') or planting beds (min. 3' wide).	
<sup>2</sup> Must maintain an average of 0.50 foot candle illumination within plaza.	
* Irrigation required unless drought resistant species are specified.	

Amenity Standards	
Benches	Required <sup>1</sup>
Trash Receptacles	Required
Bike Racks	1 per plaza
Playground Equipment	-
Planters	Required
News Stands	Encouraged
Public Art	Encouraged
Sidewalk Cafes/Dining	Encouraged
Retail Displays/Kiosks	Encouraged
Notes	
<sup>1</sup> 1 seat or 24" of bench area per 200 sf of plaza.	

## POCKET PLAZA

Pocket Plazas are the smallest type of open space within the study areas. Pocket Plazas are similar to Town Center Plazas, but are smaller in size. Pocket Plazas act as secondary focal points within the study areas that provide intimate spaces for seating and dining. Pocket Plazas can be created around a sculpture or planting beds. The general character of a Pocket Plaza is a hardscape surface with trees and plantings, which is defined by buildings.



Photo rated 3.8 (1.3) in Community Vision Survey

### Spatial Standards

Minimum Area	2% of lot area
Minimum Width	50'
Minimum Length	40'

### Landscape Standards

Trees*	1 per 1,250 sf of plaza <sup>1</sup>
Planting Bed*	150 sf per 1,250 sf of plaza
Pedestrian-Scaled Lighting	Required <sup>2</sup>

### Notes

<sup>1</sup> In either grates (min. 5' x 5') or planting beds (min. 3' wide).

<sup>2</sup> Must maintain an average of 0.50 foot candle illumination within plaza.

\* Irrigation required unless drought resistant species are specified.

### Amenity Standards

Benches	Required <sup>1</sup>
Trash Receptacles	Required
Bike Racks	-
Playground Equipment	-
Planters	Encouraged
News Stands	-
Public Art	Encouraged
Sidewalk Cafes/Dining	Encouraged
Retail Displays/Kiosks	Encouraged

### Notes

<sup>1</sup> 1 seat or 24" of bench area per 200 sf of plaza.

## CHAPTER 7 | SIGNAGE STANDARDS

Signage has the ability to enhance the Town Center and Villages as they develop and redevelop over time. By tailoring signage to its setting, it can contribute to the creation of a distinct style for both the Villages and Town Center. Signage should balance both aesthetics and advertising. The following signage standards are based on the results of the Community Vision Survey, which asked participants to evaluate various signage typologies from businesses within and outside Dennis Township.

Directional signs are permitted throughout the Centers to orient and educate visitors about parking locations, public buildings, attractions and historical places. Many communities are using directional signage as a marketing and branding element. The Township is the **only** permitted entity to install directional signage within the right-of-way. Examples are shown to the right.

This section shall serve to amend the Zoning Ordinance and provide specific standards for the TCC, TC, CVC and VC Zones.

### Permitted Signage TCC, TC & CVC Zones

#### (a) Wall signage

- (1) One of the three below for each street frontage of each business:
  - i. Internally-lit raised letters with concealed ballast (shown to right).
  - ii. Back-lit raised letters with concealed ballast.
  - iii. Signage board with gooseneck lighting.
- (2) Area shall be a maximum of 30 square feet.
- (3) Wall signage is also permitted for walls facing rear parking areas with the same area as permitted on the front façade.
- (4) Wall signage must be located below the second story floor line.

#### (b) Hanging Signs

- (1) One sign is permitted per business per street frontage that is attached perpendicular to the street in addition to the wall signage.
- (2) Area shall be a maximum of 10 square feet.
- (3) **Letter/logo height shall be a maximum of 6".**
- (4) Hanging signage must be located below the second story floor line.



Photos rated 2.7 (1.9) in Community Vision Survey



Photo rated 2.6 (1.8) in Community Vision Survey



(c) Street Address Signage

- (1) Street address signage is required on each building or individual tenant.
- (2) **Numbers shall be a maximum of 8" in height.**

(d) Awning/Canopies

- (1) One sign with lettering per business shall be permitted on an awning or canopy, and logos shall be permitted on all awnings and canopies, provided that:
  - i. The letter and logo area does not exceed 30 square feet of the diagonal portion of the awning or canopy.
  - ii. The letter and logo height located on the vertical flap and does not exceed eight inches.
  - iii. The signage shall only be on first-floor awnings and canopies.
- (2) Awnings and canopies shall be aesthetically compatible with the building and consistent with each other.
- (3) Awnings and canopies shall be kept in good order and repair.
- (4) All awning and canopies shall be made of cloth or canvas.
- (5) A business cannot have a wall sign and awning/canopy with lettering.

(e) Window Lettering/Signs

- (1) All window lettering/signs shall be inside the window and only on first floor windows.
- (2) Window lettering/signs shall not exceed 15% of the window area.
- (3) Window lettering or signs shall pertain only to the establishment occupying premise where window located.

(f) Directory Signs

- (1) Permitted only for upper story non-residential uses.
- (2) Area shall be a maximum of 12 square feet located by the main entrance to the upper floors.
- (3) **Letter height shall not exceed 4".**



Photo rated 2.7 (1.2) in Community Vision Survey



Photo rated 1.5 (1.8) in Community Vision Survey



## Permitted Signage VC Zone

Each business is permitted **either** a wall, freestanding, hanging or awning/canopy sign.

### (a) Wall Signage

- (1) One of the two below for each business:
  - i. Back-lit raised letters with concealed ballast.
  - ii. Signage board with gooseneck lighting.
- (2) Area shall be a maximum of 10 square feet.
- (3) Wall signage must be located below the second story floor line.



Photo rated 4.0 (1.1) in Community Vision Survey

### (b) Freestanding Signage

- (1) Sign is a maximum of 4 square feet in area.
- (2) Sign is a maximum of 6 feet high.
- (3) Sign may not be illuminated.



Photo rated 4.0 (1.1) in Community Vision Survey

### (c) Hanging Signs

- (1) Sign is attached to the building perpendicular to the street.
- (2) Area shall be a maximum of 4 square feet.
- (3) Letter/logo height shall be a maximum of 6".
- (4) Hanging signage must be located below the second story floor line.
- (5) Sign may not be internally illuminated.

### (d) Awning/Canopies

- (1) One sign with lettering per business shall be permitted on an awning or canopy, and logos shall be permitted on all awnings and canopies, provided that:
  - i. The letter and logo height does not exceed 50% of the diagonal portion of the awning or canopy or a maximum of 10 square feet per awning/canopy.
  - ii. The letter and logo height is located on the vertical flap and does not exceed eight inches.
  - iii. The signage shall only be on first-floor awnings and canopies.
- (2) Awnings and canopies shall be aesthetically compatible with the building



and consistent with each other.

- (3) Awnings and canopies shall be kept in good order and repair.
- (4) All awning and canopies shall be made of cloth or canvas.

(e) Window Signage

- (1) All window lettering shall be inside the window.
- (2) Window lettering shall not exceed 15% of the window area.
- (3) Window lettering shall pertain only to the establishment occupying premise where window is located.
- (4) Window lettering shall only be in first floor windows facing the street frontages.

(f) Street Address Signage

- (1) Street address signage is **required** on each building or individual tenant.
- (2) **Numbers shall be a maximum of 8" in height.**



## CHAPTER 8 | ARCHITECTURAL GUIDELINES

The purpose of this chapter is to **establish a set of principles and requirements that reflect citizen's** desires for future development. These principles will enhance the existing character of the Villages and Town Center and encourage development and redevelopment at a scale that is pedestrian-oriented. The guidelines work to provide standards that allow for flexibility and creativity while encouraging high-quality development. The goal is to allow for the construction of new buildings that embrace and respect the historic character of the Centers.

### GUIDELINES FOR TCC, TC, CVC AND VC ZONES

All buildings in the TCC and TC Zone shall be designed to convey a small-town scale and character. All buildings in the CVC and VC Zone shall be designed to convey a village scale and shall be compatible with the historic nature of the respective village. Buildings in the TCC, TC, CVC and VC Zone shall contain the following design elements unless otherwise stated:

#### *MATERIALS*

- Building façades visible from a street shall consist of brick, stone, cast stone, clapboard, cedar shakes or other high-quality material.
- Cornices shall consist of wood, stone or fiberglass.

#### *SCALE*

- The building façade shall create a defining wall along the streetscape.
- Covered archways (minimum eight feet wide) may connect rear parking areas to the street, enabling pedestrian circulation.
- Building exteriors shall have vertical and/or horizontal offsets to create visual breaks on the exterior.
- Long, blank, windowless, monotonous, uninterrupted walls or roof planes are not permitted.
- Building wall offsets, including projections and recesses such as balconies, canopies, awnings, architectural details are encouraged.
- Blind windows, display windows and/or intensive landscaping can be employed in place of blank walls.



## ARTICULATION

- The building façade shall have a clearly defined base, body and cap.
- The middle section of the façade may be horizontally divided at floor, lintel or sill levels with belt courses.
- The architectural treatment of a façade shall be completely continued around all street facing façades of a building. All sides of a building shall be architecturally designed so as to be consistent with regard to style, materials, colors and details.



## CORNER BUILDINGS

- Buildings on corners are significant buildings because they have two frontages visible from the street.
- Corner buildings act as important landmarks within the Centers.
- Corner buildings shall feature a prominent architectural element, such as a chamfered corner, significant façade articulation or portico.



## ROOFS

- The shape, pitch and color of a roof shall be architecturally compatible with the style, materials and colors of such building.
- If the building has a flat roof, a parapet shall project vertically to hide any roof-mounted mechanical equipment. Additionally, a cornice shall project out horizontally from the façade and shall be ornamented with moldings, brackets or other details.
- If the building has a pitched roof, a minimum pitch of 5:12 shall be provided. 8:12 pitch is encouraged.
- Pitched roofs are encouraged to have dormers, chimneys, cupolas and other similar elements to provide architectural interest. These elements shall be compatible with the style, materials, colors and details of the building.
- Roofline offsets shall be provided along any roof measuring more than 30 feet in length in order to provide architectural interest and articulation to a building.



- Roof top heating, ventilating and air-conditioning (HVAC) systems, exhaust pipes and stacks, satellite dishes and other telecommunications receiving devices shall be screened or otherwise specially treated to be inconspicuous as viewed from the primary or secondary street and adjacent properties.

## TRANSPARENCY

- Ground floor commercial uses shall have large pane display windows on the primary and secondary frontages. Such windows shall be framed by the surrounding wall and shall be a minimum of sixty (60%) percent of the total ground level facade area.
- Transoms above display windows are encouraged.
- Window sills shall not be more than 3 feet above the sidewalk. Base panels or bulkheads are encouraged between the sidewalk and the window sills.
- Windows are encouraged to be vertically proportioned wherever possible.
- Buildings of architectural styles that normally have windows with muntins or divided lights shall utilize those types of windows.
- Glass blocks are not permitted on facades that abut a primary or secondary street.
- Exterior security grates are prohibited.



BASE PANEL

## ENTRANCES

- The primary entrance to any building shall front on a primary or secondary street.
- All entrances to a building shall be defined and articulated by architectural elements such as lintels, pediments, pilasters, columns, overhangs or canopies.
- These elements shall be compatible with the style and materials of the building.
- Entrances may also be defined by planters as well.





## *LIGHTING*

- Light fixtures attached to the exterior of a building are encouraged. These fixtures shall be architecturally compatible with the style, material and colors of such building.
- Low-pressure sodium or mercury vapor lighting is prohibited.

## GUIDELINES FOR THE TCR & CVR ZONE

All buildings in the TCR and CVR Zone shall be designed to convey a small-town scale and character. Buildings in the TCR and CVR Zone shall contain the following design elements unless otherwise stated:

### *MATERIALS*

- Building façades visible from a street shall consist of brick, stone, cast stone, clapboard, cedar shakes or other high-quality material.
- Cornices shall consist of wood, stone or fiberglass.

### *SCALE*

- The building façade shall create a defining wall along the streetscape.
- Building exteriors shall have vertical and/or horizontal offsets to create visual breaks on the exterior.
- Building wall offsets, including projections and recesses such as balconies, canopies, awnings, architectural details are encouraged.

### *ARTICULATION*

- The building façade shall have a clearly defined base, body and cap.
- The middle section of the façade may be horizontally divided at floor, lintel or sill levels with belt courses.
- The architectural treatment of a façade shall be completely continued around all street facing façades of a building. All sides of a building shall be architecturally designed so as to be consistent with regard to style, materials, colors and details.



## ROOFS

- The shape, pitch and color of a roof shall be architecturally compatible with the style, materials and colors of such building.
- If the building has a flat roof, a parapet shall project vertically to hide any roof-mounted mechanical equipment. Additionally, a cornice shall project out horizontally from the façade and shall be ornamented with moldings, brackets or other details.
- If the building has a pitched roof, a minimum pitch of 5:12 shall be provided. 8:12 pitch is encouraged.
- Pitched roofs are encouraged to have dormers, chimneys, cupolas and other similar elements to provide architectural interest. These elements shall be compatible with the style, materials, colors and details of the building.
- Roofline offsets shall be provided along any roof measuring more than 30 feet in length in order to provide architectural interest and articulation to a building.
- Roof top heating, ventilating and air-conditioning (HVAC) systems, exhaust pipes and stacks, satellite dishes and other telecommunications receiving devices shall be screened or otherwise specially treated to be inconspicuous as viewed from the primary or secondary street and adjacent properties.



## GUIDELINES FOR VR ZONE

All new construction, additions and renovations in the VR Zone shall be designed to convey a village scale and shall be compatible with the historic nature of the respective village. Additions or renovations to historic structures outside the designated historic districts shall respect the **structure's** historic features and maintain its original scale, proportion and organization of architectural elements (columns, shutters, cornice, dormers, molding, etc.).

Buildings within the designated Dennisville State and National Registers Historic District, the SHPO Opinion South Dennis District and the Township-designated South Seaville Historic District shall contain the following design elements unless otherwise stated:

- All siding patterns shall have the finished appearance of lapped board or bevelled board on the principal structure. Board and batten type construction is permitted on accessory buildings.
- Roofing finish shall have the appearance of shake or shingle, standing seam or batten seam.



- Flat roofs are not permitted on principal structures.
- All windows along the front and sides of the building shall be double hung with mullions representing a 9 over 6, 6 over 6, 2 over 2 or the window style appropriate to the period of the structure being remodeled.
- All porches in the front and side yards shall be single story with fixed peaked or flat roofs. Railings shall not exceed forty-two (42) inches in height. The finish floor of the porch area shall not be higher than the finish floor elevation of the structure; but in no case lower than one (1) foot below the elevation of the finish floor of the structure.



For more **information on the three districts and their boundaries**, please refer to the Township's Natural Resource Inventory.



## CHAPTER 9 | DEFINITIONS

**Affordable Accessory Apartments** – a self-contained residential dwelling unit reserved for low or moderate-income households with a kitchen, sanitary facilities, sleeping quarters and a private entrance, which is created within an existing home, or through the conversion of an existing accessory structure on the same site, or by an addition to an existing home or accessory building.

**Base Panel** - the area of a building between the windows and the ground.

**Build to Line (BTL)** – a line appearing graphically on the regulating plan or stated as a setback dimension; location along which a building façade must be placed.

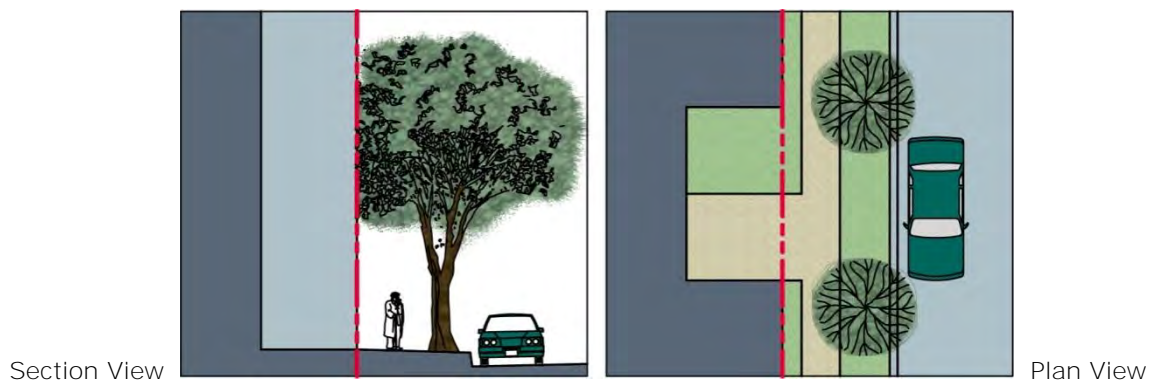
**Cluster development** - shall mean a development technique based on a gross dwelling unit density for the entire tract in the zoning district in which it is located, and allowing the lot sizes for residential dwellings to be reduced or individual segments to have higher densities so long as the gross density is not exceeded.

**Community residence** – means any community residential facility licensed pursuant to P.L. 1977, c.448 (C.30:11B-1 et seq.) providing food, shelter and personal guidance, under such supervision as required, to not more than 15 developmentally disabled or mentally ill persons, who require assistance, temporarily or permanently, in order to live in the community, and shall include, but not be limited to: group homes, halfway house, intermediate care facilities, supervised apartment living arrangement, and hostels.

**Encroachment** – any structural element (canopy, awning, sign, deck, porch, etc.) that extends horizontally from the building into a right-of-way or setback; measured from the building façade outward.

**Façade** – the vertical surface of a building that faces a street.

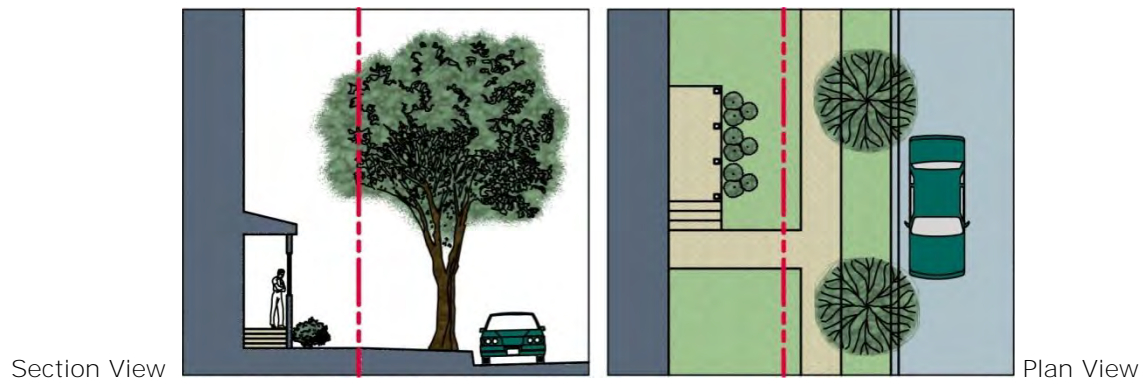
**Frontage: Forecourt** – where the majority of the building façade is located at the build-to-line, while a small portion is set back, creating a small open space. This space could be used as an entry, shared garden space, passive lawn or as a plaza. For residential uses, a low wall or hedge can be placed along the build-to-line to define public versus private space.



Real Life Example:



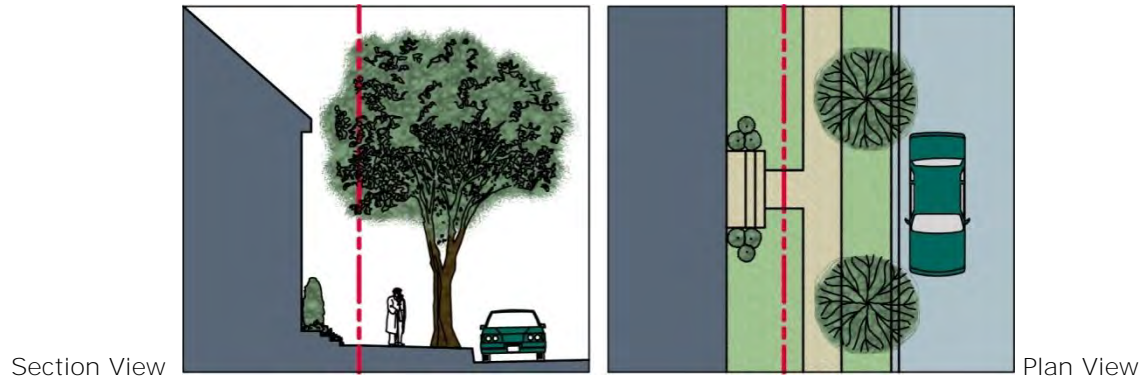
**Frontage: Residential Porch** – where the primary street façade of the building is setback from the build-to-line. An elevated porch is located between the building façade and the build-to-line. Stairs from the porch can lead directly to the sidewalk or can be side-loaded.



Real Life Example:



**Frontage: Residential Stoop** – where the primary street façade is setback from the build-to-line. An elevated stoop is located between the building façade and the build-to-line. Stairs from the stoop can lead directly to the sidewalk or can be side-loaded.



Real Life Example:



**Frontage: Shopfront** –where the primary street façade is at or near the build-to-line. Awnings, canopies and/or signs extend out above the sidewalk. This frontage type is only appropriate for areas that have retail and services on the first floor.





Real Life Example:



**Frontage Type** – the type of façade that is permitted on a primary street (front yard).

**Half Story** – a space under a sloping roof that has the line of intersection of the roof and the wall face not more than three feet above the floor level and in which space the possible floor area with head room of five feet or less occupies at least 40% of the total floor area of the story directly beneath.

**Hotel** – an establishment providing transient sleeping accommodations with all rooms having access to an interior hallway; the facility provides additional services, such as restaurants, meeting rooms and recreational facilities.

**Mixed-use** – a building containing more than one use in it.

**Motel** – an establishment providing transient sleeping accommodations with a majority of all rooms having direct access to the outside without the necessity of passing through the main lobby of the building.

**Multi-family housing** – a building containing two or more dwelling units.

**Office** – a room or group of rooms used for conducting the affairs of a business, profession, service, industry, or government and generally furnished with desks, tables, files and communication equipment.

**Outdoor Storage** – the keeping, in an unenclosed area, of any goods, junk, material, merchandise or vehicles in the same place for more than twenty-four hours.

**Parking structure** – a multi-story structure (also called a parking garage or parking deck) that is designed specifically for automobile parking and where there are a number of floors or levels.

**Pedestrian-scaled lighting** – lighting that is less 15' in height.

**Personal services** – Establishments primarily engaged in providing services involving care of a person or his or her personal goods or apparel. (Example – health club, laundry, beauty shop)

**Portico** – a porch leading to the entrance of a building or extended as a colonnade, having a roof structure over a walkway that is supported by columns.

**Primary Street** – the frontage of the lot.

**Regulating (Zoning) Plan** – a zoning map that shows the location of various zoning districts.

**Retail** – establishments engaged in selling goods or merchandise to the general public for personal or household consumption and rendering services incidental to the sale of such goods.

**Secondary Street** – occurs on corner lots, the side of a lot.

**Services** – establishments primarily engaged in providing assistance, as opposed to products, to individuals, business, industry, government, and other enterprises. (Example – legal, engineering, educational services)

**Shared Parking** – parking spaces that are assigned to more than one use.

**Street Regulating Plan** – a map that shows the location of existing and proposed streets.

**Two-family dwelling** – a unit where two families live, the unit could be split horizontally with the units side by side or vertically with the units stacked on one another.

**Townhouse** – a one-family dwelling in a row of at least three such units in which each unit has its own front and rear access to the outside, no unit is located over another unit, and each unit is separated from any other unit by one or more vertical common fire-resistant walls.

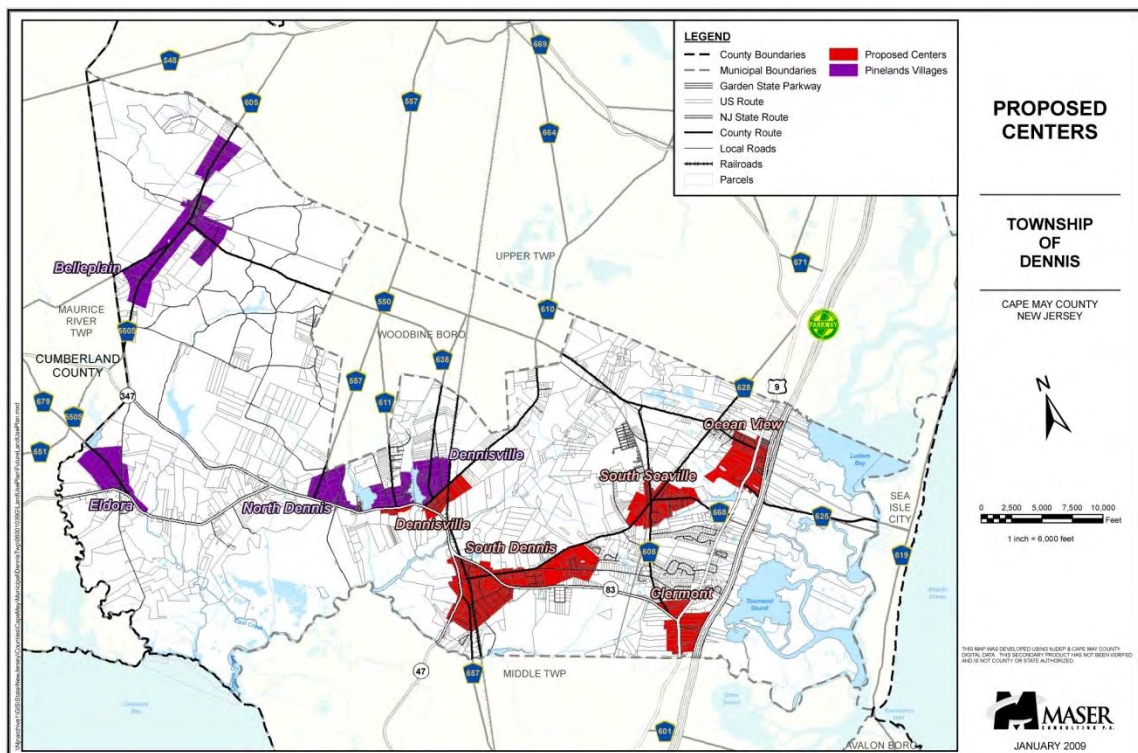
## APPENDIX | COMMUNITY PROFILE



## Where are we?

Dennis Township is 64.3 square miles and is surrounded to the north by Upper Township and Woodbine Borough, by Sea Isle City Borough to the east, Middle Township to the south and the Delaware Bay to the southwest and Cumberland County to the west. There are a number of major roadways that run through Dennis Township, including the Garden State Parkway, State Route 9, State Route 47 and Route 83. The Township is a growing municipality, which had a total population of 6,492 according to the 2000 Census. Dennis' summer population is estimated at about six times that of its year round population.

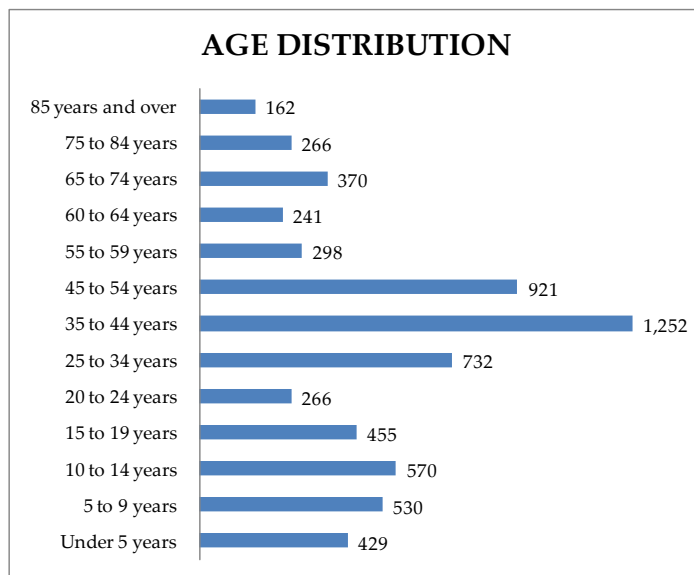
Dennis is working towards Plan Endorsement to designate Clermont, part of Dennisville, Ocean View, South Dennis and South Seaville as designated Centers in the State Plan. The purpose of the Plan Endorsement process is to achieve consistency among municipal, county, regional and the State Plan.



### *Demographic Characteristics*

Dennis Township has been steadily growing since 1970, when the Township had 2,635 persons; in 2000 the population had grown to 6,492. The South Jersey Transportation Planning Organization (SJTPO) projects that the Township will add 106 to 1,096 additional persons between 2000 and 2030.

During the 2000 Census, population by age cohort was analyzed. Dennis Township's largest age cohorts were 35 to 44 and 45 to 54 years, comprising 33.5% of Dennis' entire population. School-age children consisted of 24% of the population. The smallest age cohort was the 85 years and older group, with only 2.5% of Dennis' population.



### *Employment Characteristics*

In 2007 Dennis Township had 2,213 jobs; the SJTPO estimates that the Township will gain only 289 new jobs over the next 23 years, which is an average of less than 13 new jobs per year. This estimate is quite different from the employment projections that were calculated during the Housing Element and Fair Share Plan process. The Council on Affordable Housing determined that the Township would add 191 jobs between 2004 and 2018.

In 2003 the Department of Labor and Workforce Development completed a study for employment by industry sector, which revealed that 38% of those

employed within the Township worked in the construction (19%) or health care (19%) trade. Another 17% of workers held jobs in accommodation and food services and 11% worked in retail. Wages ranged from \$11,875 for other services employees to \$44,573 for workers in the construction industry.

### *Existing Land Uses*

According to the 2007 tax data, Dennis contained 41,239 acres, of which, 55.4% were public property and 12.9% were residential. Commercial uses are limited to only 1.2% of the Township's total acreage; these businesses are primarily located along the Route 9 corridor within the Clermont and Ocean View Centers and within the Villages of South Dennis, South Seaville and Dennisville.

Land Use	Total Lot Area		Total Uplands Area	
	Acres	Percent	Acres	Percent
Vacant (1)	4,855.64	11.8%	2,365.02	11.7%
Residential (2)	5,331.42	12.9%	4,187.57	20.7%
Farm Regular (3A)	1,046.46	2.5%	589.87	2.9%
Farm Qualified (3B)	3,292.94	8.0%	2,561.69	12.7%
Commercial (4A)	486.52	1.2%	409.11	2.0%
Public Property(15C)	22,852.67	55.4%	8,939.47	44.2%
Church (15D)	13.43	0.0%	13.43	0.1%
Cemtery (15E)	21.29	0.1%	21.19	0.1%
Other Exempt (15F)	243.11	0.6%	182.50	0.9%
Unknown Class	236.04	0.6%	84.53	0.4%
Right-of-Way	1,123.17	2.7%	869.15	4.3%
Water	1,736.96	4.2%	-	0.0%
<b>Total</b>	<b>41,239.64</b>	<b>100.0%</b>	<b>20,223.54</b>	<b>100.0%</b>

Source: Municipal Property Code Classification Information, 2007

Dennis Township has seen a significant change in property value between 1998 and 2007. Residential parcels had a value of \$247,410,000 in 1998, which increased by 224% to \$800,450,000 in 2007. Commercial properties had a total value of \$41,530,000 in 1997 and increased to \$143,390,000 by 2007.



### *Projected Growth*

Residential growth occurring between 1996 and 2007 has built more than 339 new housing units within the Township. Additionally, over 126,137 square feet of office, 99,060 square feet of retail, 205,196 square feet of storage occurred between 1996 and 2005. Future growth is limited because of environmental constraints, a 2008 study projected that only 150 acres of vacant and developable land remained within Dennis Township.

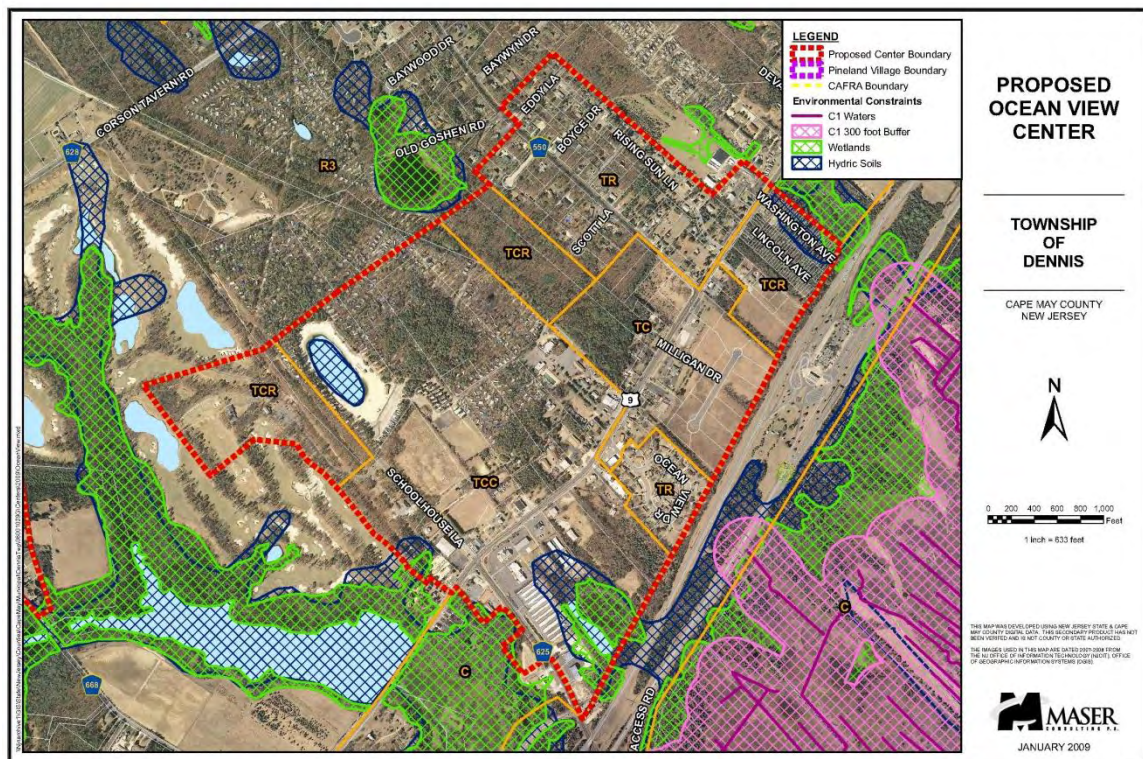
### *Future Land Use Plan*

A Land Use Plan Update is currently being created to provide a center-based land use policy where growth is focused into Centers and the surrounding environs are projected from the impacts of sprawling development. The Update has listed a total of 11 goals for the Township, of which, 7 directly relate to this process and are as follows:

1. Provide for an appropriate variety of land uses responsive to the development potential of Dennis Township.
2. To guide development into compact Town Centers along the Route 9 corridor.
3. To maintain and expand existing Village Centers.
4. To protect the historic, archaeological and cultural resources of the Township.
6. To provide for safe and efficient movement of traffic within and through the Township.
9. To assure decent homes to all present and future residents of the Township without regard to their economic status by providing for a full range of housing including affordable housing opportunities.
10. Provide recreational facilities that meet the needs of current and future Township residents.

### *Ocean View Town Center*

The Ocean View Town Center is traversed north to south by Route 9. The Garden State Parkway forms the eastern edge of this Center. The western boundary is located about midway between Route 9 and Corson Tavern Road. The southern boundary is located at CR-625 and then along and south of Schoolhouse Lane, which runs west of Route 9. The planned Ocean View Town Center totals 350 acres or 0.54 square miles.



This Center has three existing residential neighborhoods, which are almost fully developed. The Ocean View Center has a mix of existing land uses mostly small scale one-story structures providing retail, business services, professional offices and small restaurants. The Ocean View Resort is a major land use providing camping resort services, trailer sales and accessory uses

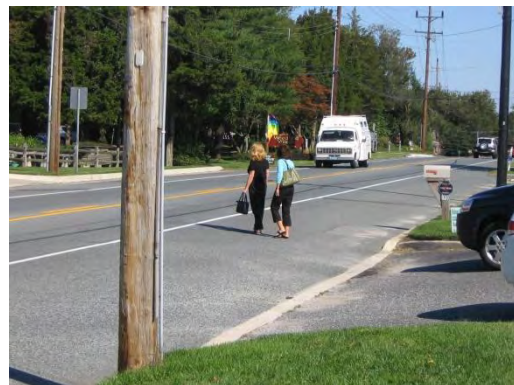
associated with the resort. Additionally the Shoregate Golf Course is located on the west side of Route 9 with access from School House Lane.



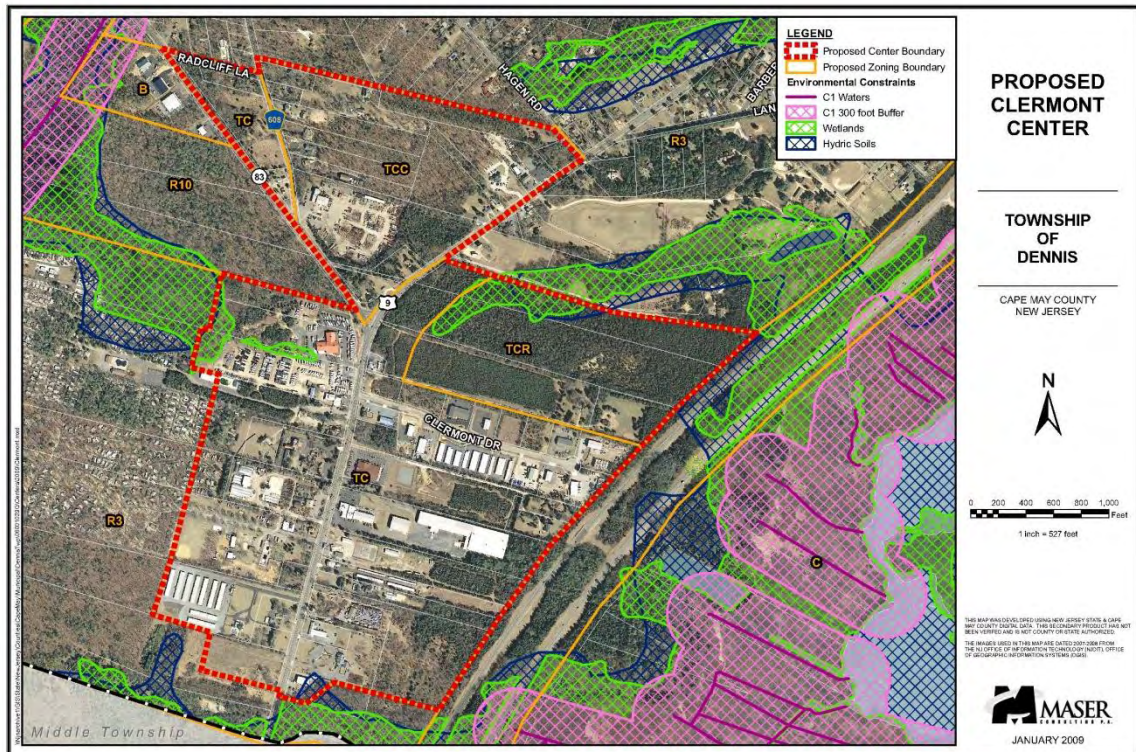
There are currently no sidewalks or pedestrian crossings in this center, which is not conducive to pedestrian activity. There are a number of properties in this Center that can be considered underutilized being with older residential structures in varying conditions or vacant lands. There are opportunities for development within Ocean View, especially with both vacant and underutilized lands. Development of community alternative wastewater treatment facilities, ideally serving the entire Town Center is necessary to promote the development that can occur with these facilities. Otherwise, it is limited to continuing the smaller scale uses, including commercial and lower density residential uses that can be supported by on-lot septic systems.

### *Clermont Town Center*

The planned Clermont Center totals 257 acres or 0.4 square miles located along Route 9 corridor. There is currently no public water or sewer service this Center. Like Ocean View Center, public water is expected to be installed along the Route 9 corridor by New Jersey American Water Company. There is no public sewer in the Township. It is expected that in the future, alternative wastewater treatment facilities will be planned to serve properties in the two Route 9 centers.





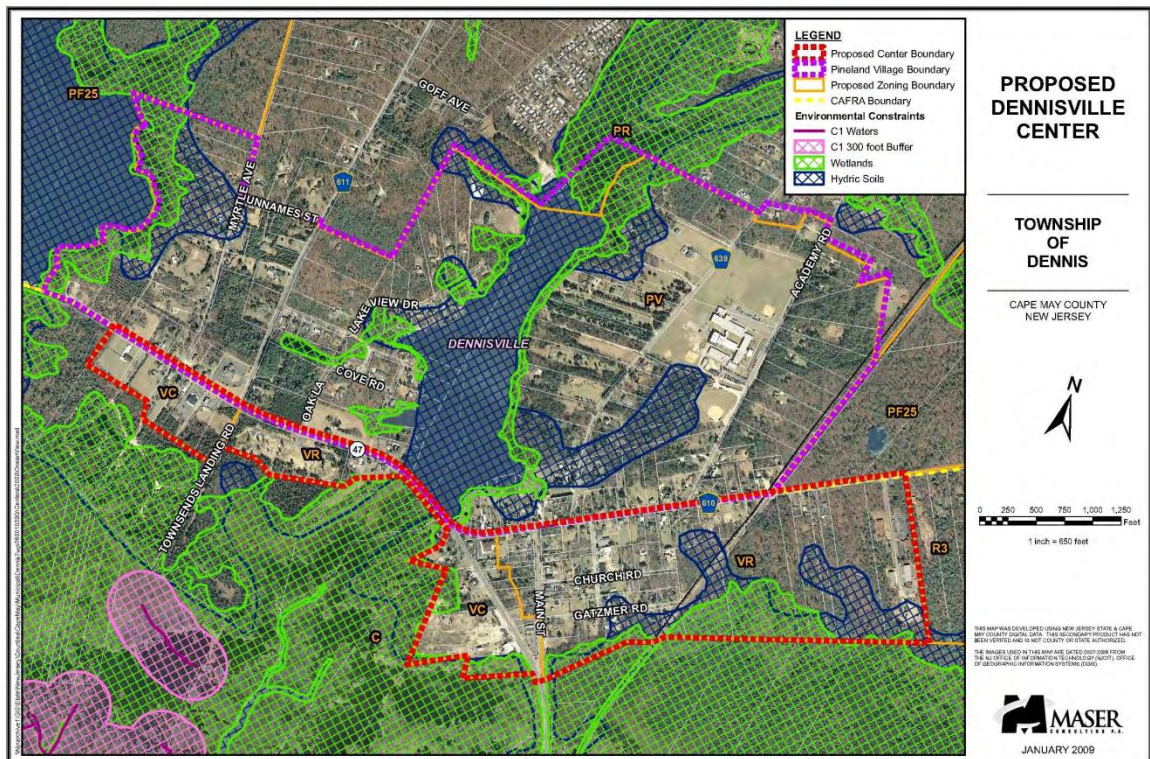


Current uses in Clermont are two large campgrounds both on the west side of Route 9: Avalon Campground and Driftwood Campground. There is also a garden center, storage uses, Marge's Diner, small business retail and service uses. Woodlands Village and the Cape May Wicker draw substantial traffic to this Center especially during summer season.

Like Ocean View, Clermont presents opportunities for development or private redevelopment. There are vacant tracts that present opportunities and a number of underutilized lands throughout the Center where future acquisition and possible merger with multiple properties provide opportunities to establish well sized development parcels.

## Dennisville Village Center

The Dennisville Village is composed of two sections that are connected by Route 47, which is the main arterial road. Dennisville Village Center totals 158 acres or 0.25 square miles in area within the CAFRA zone.



The Dennisville Historic District received designation on both the National and State Registers of Historic Places, which includes structures from the 1750s to 1890s. The Township has identified 55 contributing buildings to the district. The older historic village development is reflected in the street pattern, which is a road grid system. There are some sidewalks within this older historic area but many missing links.



Land uses within Dennisville include civic uses such as the municipal complex, volunteer fire squad, church, post office and historic museum. The frontage along Route 47 is a mix of low density retail businesses, services and residential uses. There are a number of small scale home based businesses in



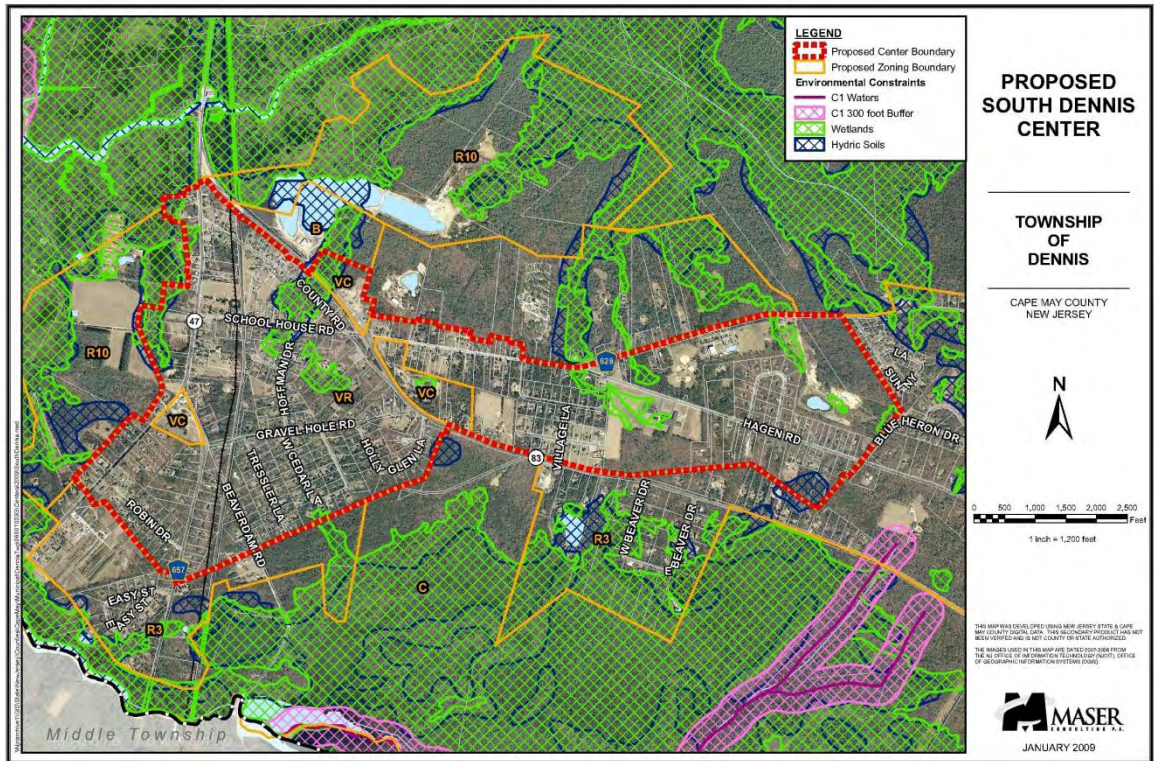
Dennisville within the historic district. There are limited vacant lands or lands suitable for further subdivision within Dennisville Village.

The Southern Railroad of New Jersey Cape May branch is within the east section of the Village. At this time, plans and funding is being sought to reopen the connection of the railroad through Dennis Township, which would provide a connection between Cape May Court House and Tuckahoe Village and allow for seasonal excursion rail to Richmond in Atlantic County. The area along the railroad provides opportunities for future development. Dennisville originally had a train station in this area and the reactivation of the rail line could provide an opportunity for developing parking and replacing the train station. It is an opportunity that may provide economic benefits for businesses in Dennisville in the future.

### *South Dennis Village Center*

The South Dennis Village Center is located in the eastern section of the Township and is to the west of the Clermont Town Center. Route 47 is close to the western edge of the Village. Route 83 transverses the eastern section of the Village. The South Dennis Village Center encompasses 860 acres or 1.3 square miles. Its size and length are due to pattern of development of this Village. The school and recreation center are important civic uses for the Township and they are considered very important to include with the Village boundaries.





The South Dennisville Historic District on Route 47 in the northern most section of the South Dennis Village Center was issued an opinion of eligibility on 7/13/2001. According to the Dennis Township Natural Resources Inventory (page 80), this area includes 21 properties from the period of 1720 to the 1880s. There are a number of older homes and structures, which appear well preserved and are an important element of South Dennis character.

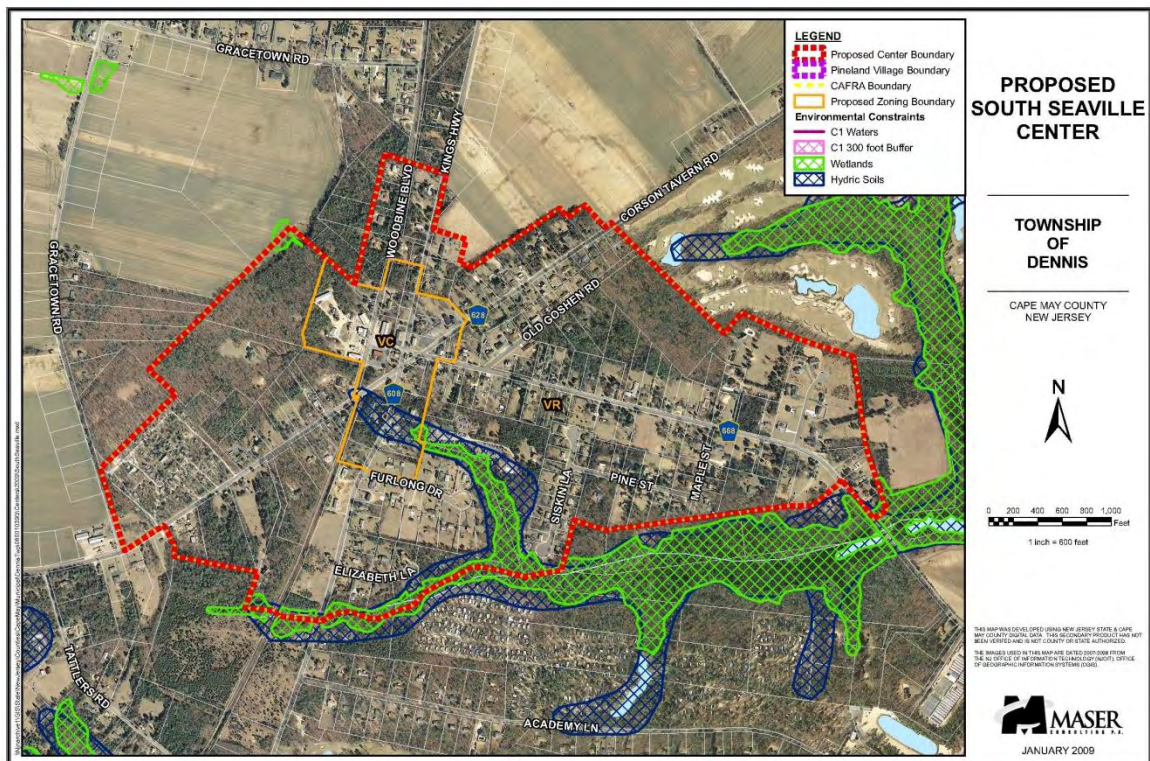
There are limited businesses within the South Dennis Center. These include the diner and new business office center on CR-658 near Route 47. Civic uses include the South Dennis post office, Dennisville Methodist Church and cemetery and the ARC Cape May offices on Route 47, the Dennis School and Dennis Recreation Complex.





### South Seaville Village Center

The South Seaville Village Center is located in the eastern section of the Township and is to the south west of the Ocean View Town Center. It is the intersection of three county roads: CR-668 (Main Street), CR-608 (Kings Highway) and CR-628 (Corson Tavern Road). All three roads intersect in the center of South Seaville in its business area. The South Seaville Center encompasses 320 acres or 0.5 square miles.



Currently there are about 193 residential lots within the boundaries of the Center. The Center has an identified historic district with 17 properties from the period of 1793 to 1890, according to the Dennis Township Natural Resources Inventory (page 80). However, it is not designated as a historic district by the NJ State Historic Preservation Office. There are a number of

older homes and structures, which appear well preserved and are an important element of South Seaville's character.

Civic uses in South Seaville include the South Seaville United Methodist Church, volunteer fire company, the post office and lodge hall. There is also a small market, business services, and the South Seaville Camp Meeting property. This is a historic property that was founded in 1863-64 as a Methodist camping retreat. There are a number of original homes and

structures and is still in use today.

